



TOWN OF CORTLANDT

ZONING BOARD OF APPEALS

Town Hall, 1 Heady Street
Cortlandt Manor, NY 10567
914-734-1080

Michael Fleming
Chairman

Wai Man Chin
Vice-Chairman

Chris Beloff
Frank Franco
Michelle Piccolo Hill
Benito Martinez
Thomas Walsh

Town Supervisor
Richard H. Becker, MD

Town Board
James F. Creighton
Cristin Jacoby
Robert Mayes
Joyce C. White

TO JOIN THE MEETING REMOTELY USE THE ZOOM LINK BELOW:

<https://us02web.zoom.us/j/86025036009?pwd=LQTZrr6QGveNajamcj6l8lykbJBdUE.1>

AGENDA.....ZONING BOARD OF APPEALS
Town Hall – 1 Heady Street
Cortlandt Manor, NY 10567

Work Session – Tuesday, July 22, 2025 at 6:30 PM

1. Discuss Agenda for the Regular Meeting

Regular Meeting – Tuesday, July 22, 2025 at 7:00 PM *

1. Pledge to the Flag and Roll Call
2. Adoption of the Meeting Minutes for May 15, 2025
3. **ADJOURNED PUBLIC HEARINGS**

A. Case No. 2025-6 Application of Paola Patino and Miguel Rodas for an area variance for an additional curb cut (driveway) for property located at 60 Carolyn Drive.

B. Case No. 2025-7 Application of Claudia Villeda for a side yard setback variance for a proposed canopy over an existing outdoor dining area at Yuka's Restaurant located at 2011 Albany Post Rd.

C. Case No. 2025-8 Application of Go Permit on behalf of Floor & Décor the property of Kitzbuehel Realty, LLC for an area variance for additional signage for property located at 2094 E. Main St. (former Shop Rite Store).

**Regular meeting to begin at conclusion of the work session*

NEXT REGULAR MEETING THURSDAY, AUGUST 21, 2025

ZONING BOARD OF APPEALS FACT SHEET

ZBA Member Assigned: BeLoff

CASE NO.: 2025-6

Name of Applicant: Paola Patino/Miguel Rodas

Owner: Same

Address of property: 60 Carolyn Drive

Section, Block, Lot: 22.8-2-61

Prior ZBA Case No.: N/A

Zone: R-20

Lot Size: 21,746 sq. ft.

Request: A variance from Section 261-23, Curb Cuts, single-curb cut allowed, second curb cut is proposed.

Staff Comments: The Code Enforcement office received a building permit application on April 4, 2025 for the paving of a driveway at 60 Carolyn Drive. The Code Office denied the request on June 17, 2025. The house already has a driveway with a curb cut onto Carolyn Drive. A second unpaved driveway has apparently existed at the property for several years, prior to the purchase of the property by the current owner. An RV is currently parked in the second driveway.

Variance(s) Requested: A second curb cut for a proposed driveway. Code permits one curb cut.

SEQR: TYPE II – No further compliance required



TOWN OF CORTLANDT
DEPARTMENT OF TECHNICAL SERVICES
CODE ENFORCEMENT DIVISION

Michael Preziosi, P.E.
Director – D.O.T.S

Martin G. Rogers, P.E.
*Director of Code
Enforcement / D.O.T.S.*

Holly Haight
*Assistant Director of Code
Enforcement / D.O.T.S.*

Town Hall, 1 Heady Street
Cortlandt Manor, NY 10567
Main #: 914-734-1010
Fax #: 914-293-0991

Town Supervisor
Richard H. Becker

Town Board
James F. Creighton
Cristin Jacoby
Robert E. Mayes
Joyce C. White

Paola Patino / Miguel Rodas
60 Carolyn Drive
Cortlandt Manor, NY 10567

June 17, 2025

Re: Proposed Driveway
60 Carolyn Drive
Tax ID 22.8-2-61

Paola Patino and Miguel Rodas:

I am in receipt of a Building Permit Application received April 4, 2025 for a Driveway at the above referenced premises.

I must deny this request under the following chapter of the Town of Cortlandt Zoning Code: 261-23 Curb cuts, K Single curb cut is allowed. Second curb cut is proposed. Request for a variance from the Code is required.

The Zoning Board of Appeals application shall be completed online. If the application is deemed complete additional instructions will follow and then the project will then be placed on the agenda for the next available Zoning Board of Appeals meeting.

Additional information may be required upon subsequent reviews. Technical comments for the submission may be issued separately. If you have any questions or comments please feel free to contact me by email or at 914-734-1010.

Sincerely,

Martin G. Rogers, P.E.
Director of Code Enforcement
Department of Technical Services

Cc: Chris Kehoe, Town Planner





CAROLYN DR
22-7-2-3

70 CAROLYN DR
22-7-2-2

60 CAROLYN DR
22-8-2-61

9 JEAN DR
22-7-2-5

6 JEAN DR
22-8-2-60

12 JEAN DR
22-8-2-59





LEGEND

- IRF/IPF IRF/IRF IRON PIPE/ROD FOUND
- - - UTILITY LINE AND POLE
- - - ADJOINING PROPERTY LINE
- ⊗ WELL
- CB CATCH BASIN

NOTES:

PROPERTY LINE AS SHOWN ARE BASED ON DEEDS OF RECORD AND FILED MAPS.

THIS IS AN ACCURATE SURVEY COMPLETED IN THE FIELD DECEMBER 2024

SUBJECT TO ALL EASEMENTS AND/OR AGREEMENTS THAT THE PUBLIC UTILITY COMPANIES MAY HAVE.

ONLY COPIES FROM THE ORIGINAL OF THIS SURVEY MARKED WITH AN ORIGINAL OF THE LAND SURVEYORS SEAL OR HIS/HER EMBOSSED SEAL SHALL BE CONSIDERED TO BE VALID TRUE COPIES

GUARANTEES OR CERTIFICATIONS INDICATED HEREON SIGNIFY THAT THIS SURVEY WAS PREPARED IN ACCORDANCE WITH THE EXISTING CODE OF PRACTICE FOR LAND SURVEYS ADOPTED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS. SAID GUARANTEES OR CERTIFICATIONS SHALL RUN ONLY TO THE PERSON FOR WHOM THE SURVEY IS PREPARED, AND ON HIS BEHALF TO THE TITLE COMPANY, GOVERNMENTAL AGENCY AND LENDING INSTITUTION LISTED HEREON, AND TO THE ASSIGNEES OF THE LENDING INSTITUTION. GUARANTEES OR CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.

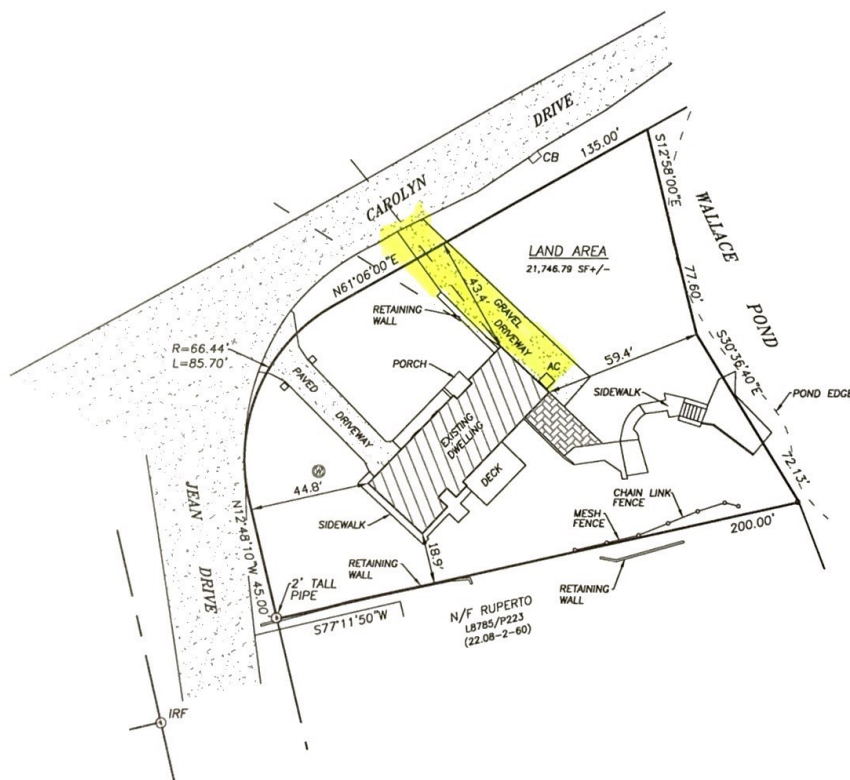
SUBJECT TO ALL RIGHT OF WAY TAKINGS NOT SHOWN OR FOUND IN COUNTY OR TOWN RECORDS

REFERENCES:

- L59353/P3491
- BEING LOT 130 ON A MAP ENTITLED "WESTCHESTER LAKE" FILED IN THE WCCO AS MAP 8399.

CERTIFY TO:

- PAOLA PATINO
- MIGUEL RODAS
- WESTCOR LAND TITLE INSURANCE COMPANY
- PRIMELENDING, A PLAINSCAPITAL COMPANY, its successors and/or assigns



SURVEY FOR PATINO & RODAS		
TOWN OF CORTLANDT WESTCHESTER COUNTY, NEW YORK		
PROJECT TITLE STEVEN J. GREEN PLS		
LICENSE NO. 050565 P.O. BOX 534, COSEBURN, NY 10924 (845) 978-1672		
STEVEN J. GREEN PLS LICENSE 050565 DATE		
UNAUTHORIZED ALTERATION OR ADDITION TO A PLAN BEARING A LICENSED LAND SURVEYOR'S OR PROFESSIONAL ENGINEER'S SEAL IS A VIOLATION OF SECTION 7208, SUB-DIVISION 2 OF THE N.Y. STATE EDUCATION LAW		
SCALE 1" = 30'	PROJECT 60 CAROLYN DR	CAD REFERENCE J24-119
PARCEL ID 22.06-2-61	DATE 12/16/2024	DWG. NO 1 of 1

ZONING BOARD OF APPEALS FACT SHEET

ZBA Member Assigned: **Martinez**

CASE NO.: 2025-7

Name of Applicant: Claudia Villeda
Owner: VANDG Landholding GRP LLC (Yuka's)
Address of property: 2011 Albany Post Rd.
Section, Block, Lot: 55.18-2-17
Prior ZBA Case No.: N/A
Zone: HC, R-40
Lot Size: Approx. 38,500 sq. ft.

Request: A variance from Town Zoning Code: 307-17, Attachment 5, Table of Dimensional Regulations, Non-residential districts, Side Yard Setback, 30.0 ft. required, 0.0 ft. proposed.

Staff Comments: The applicant is currently pending before the Planning Board (PB 2025-9) for Amended Site Plan approval to construct a canopy over the existing outside dining area at Yuka's Restaurant. The applicant appeared before the Planning Board as a New Business item on May 6, 2025. Based on the staff review of the application it was determined a variance would be needed for the canopy and the applicant has now applied to the ZBA. The Planning Board is acting as Lead agent on the application. The survey shows that the existing patio extends beyond the property line into the Town right-of-way. This extension may be permitted to remain by the execution of a license agreement between the Town and the property owner.

Variance(s) Requested: Side yard variance for a proposed canopy over an existing patio.

<u>REQUIRED</u>	<u>PROPOSED</u>	<u>VARIANCE</u>	<u>%</u>
30.0 ft.	0.0 ft.	30.0 ft.	100%

SEQR: TYPE II – No further compliance required





JOHN A. LENTINI ARCHITECT

124 ALLAN STREET
CORTLANDT MANOR, NY 10567
914-737-2890

July 8, 2025

TOWN OF CORTLANDT
ZONING BOARD of APPEALS
Town Hall
1 Heady Street
Cortlandt Manor, NY 10567

Attn: Zoning Board of Appeals Chairman

Re: 2011 Albany Post Rd, Croton on Hudson, Yukas Latin Fusion Restaurant ZBA-25-7, PBCK-25-8
Proposed Canopy

To All Concerned:

The owner seeks to utilize an existing patio, at the referenced restaurant, in order to accommodate patrons who prefer to sit out doors. The existing patio, for 32 seats, is limited by the weather. Application for a permit to install an open permanent Canopy depends upon approval from the Town's Planning Board, for Site revision, and from the Town's Zoning Board of Appeals, for relief from Area Set Back requirements, and from the Town Board for use of the existing patio that is partly on the Town Right of Way (Furnace Dock Road). A permanent will be required from the Town's Code Enforcement. Since concerns with the transmission of Covid-19 many rules involved with using outdoor dining including sidewalk tables have been relaxed or even encouraged in many Jurisdictions. The referenced business has a hardship-accommodating sidewalk dining, particularly, because there are no accessible sidewalks. The existing patio is ideal to use for out door dining, however, erratic weather and especially high winds in the area provide difficulties to use reliably. Please find following comments, claims or my opinion relative to factors affecting being able to grant an Area variance:

- (1) If allowed the Canopy will be largely concealed from view from the residential zone to the South and traffic from the East. The area is largely commercial. The proposal will not alter area substantially.
- (2) The area in question is the only area, adjacent to the building that can safely accommodate out doors dining.
- (3) The request is not substantial relative to the existing structure and patio. If proposal involved extending the structure with walls and roof it would be considered substantial I believe.
- (4) The area where the Canopy is proposed is already bordered by the buildings shape and will not produce a visible anomaly and would probably be un-noticed. The location is several feet above Furnace Dock Rd and would not interfere with vehicle or pedestrian traffic. There is a natural noise barrier to the North and East where the grade rises abruptly 30 feet. Proposal will not adversely affect the area I believe.
- (5) The patio has existed historically and the present business owner has not preformed any work that would be self-created I believe.

Respectfully

JOHN A. LENTINI ARCHITECT



John A. Lentini RA NY # 23755



TOWN OF CORTLANDT
DEPARTMENT OF TECHNICAL SERVICES
CODE ENFORCEMENT DIVISION

Michael Preziosi, P.E.
Director – D.O.T.S

Martin G. Rogers, P.E.
*Director of Code
Enforcement / D.O.T.S.*

Holly Haight
*Assistant Director of Code
Enforcement / D.O.T.S.*

Town Hall, 1 Heady Street
Cortlandt Manor, NY 10567
Main #: 914-734-1010
Fax #: 914-293-0991

Town Supervisor
Richard H. Becker

Town Board
James F. Creighton
Cristin Jacoby
Robert E. Mayes
Joyce C. White

Yuka's Restaurant
2011 Albany Post Rd
Croton on Hudson, NY 10520

June 17, 2025

Re: Yuka's Restaurant Proposed Canopy
2011 Albany Post Road
Tax ID 55.18-2-17

Ms. Villeda:

I am in receipt of referral related to your Planning Board Application for Proposed Canopy over Existing Patio at the above referenced premises.

I must deny this request under the following chapter of the Town of Cortlandt Zoning Code: 307-17 Attachment 5 Table of Dimensional Regulations, Nonresidential Districts, Side Yard Setback. The proposed Canopy is not compliant. Request for a variance from the Code is required. 30.0' required, 0.0' proposed requiring a variance for 30.0'.

The Zoning Board of Appeals application shall be completed online. If the application is deemed complete additional instructions will follow and then the project will then be placed on the agenda for the next available Zoning Board of Appeals meeting.

Additional information may be required upon subsequent reviews. Technical comments for the submission may be issued separately. If you have any questions or comments please feel free to contact me by email or at 914-734-1010.

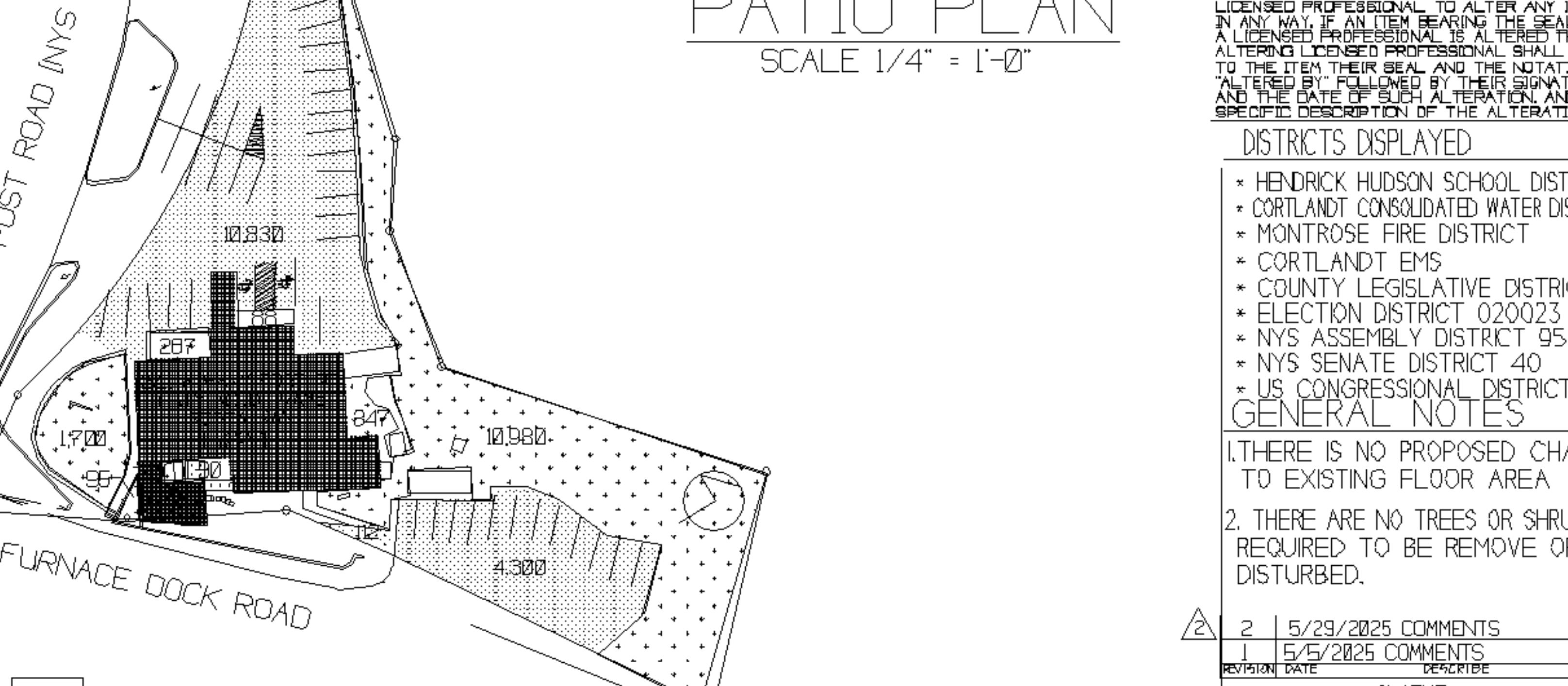
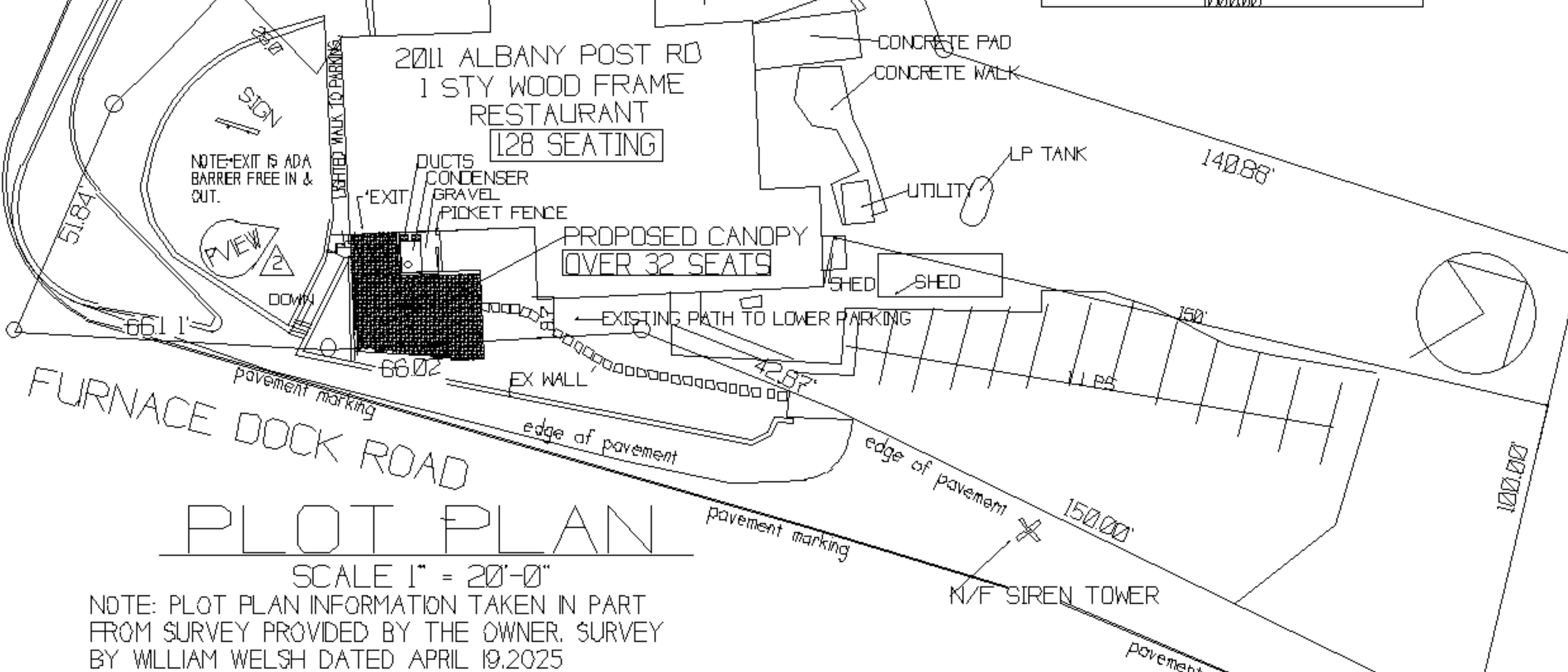
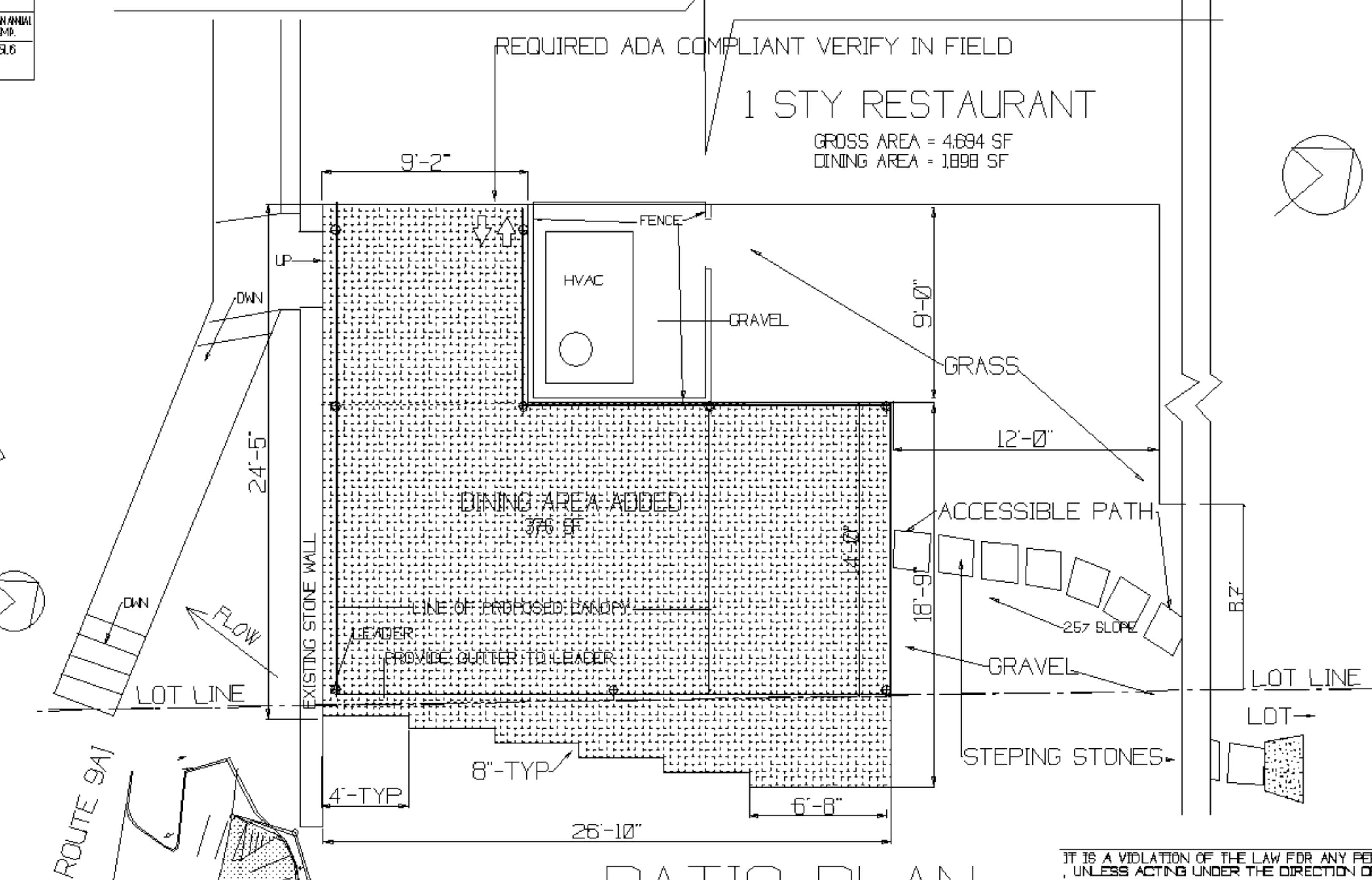
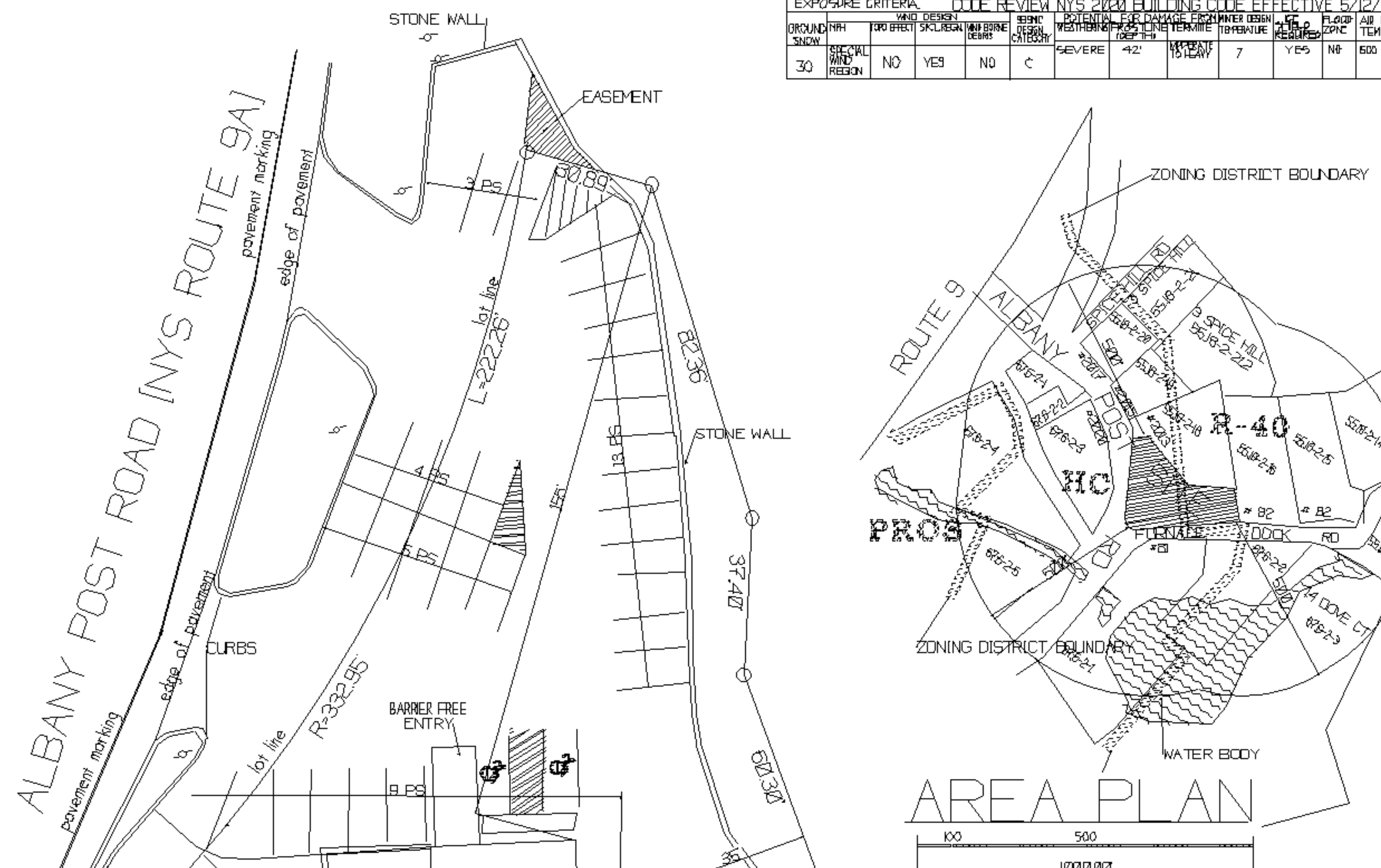
Sincerely,

Martin G. Rogers, P.E.
Director of Code Enforcement
Department of Technical Services

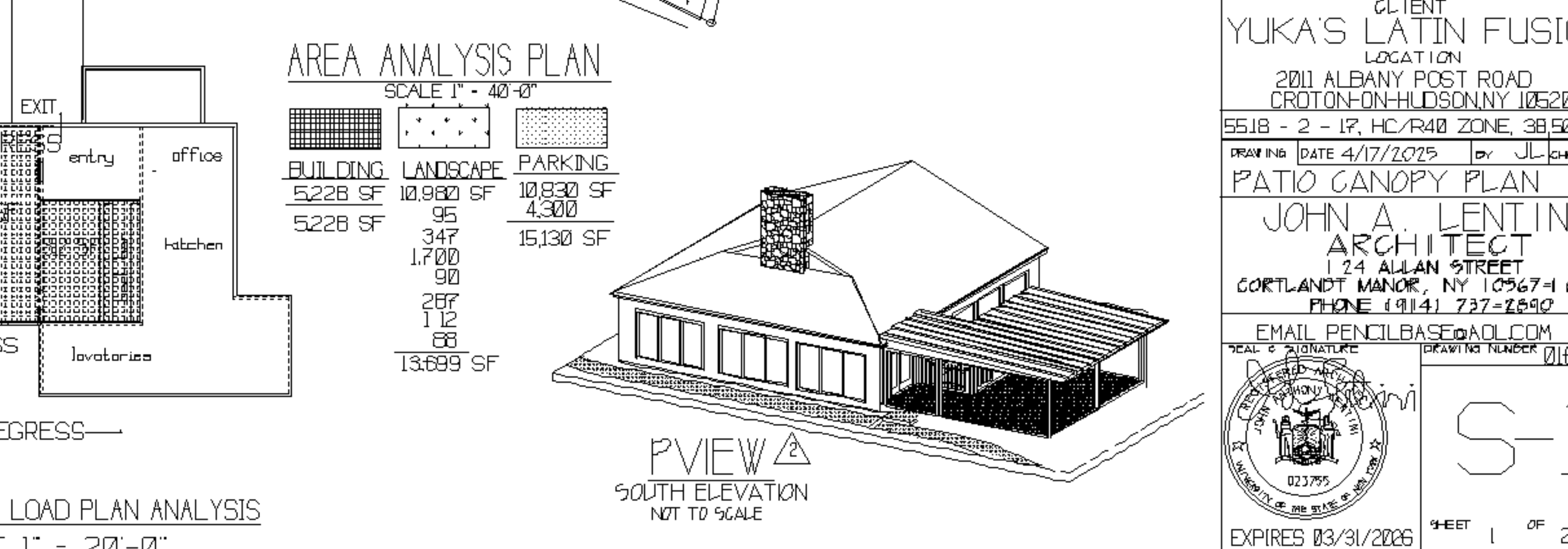
Cc: Chris Kehoe, Town Planner

2025-6-17 2011 Albany Post Road ZBA Denial Ltr.Docx

EXPOSURE CRITERIA									
WIND DESIGN	NO EFFECT	SLIGHT	MODERATE	SEVERE	POTENTIAL FOR DAMAGE	PERMANENT DAMAGE	TEMPORARY DAMAGE	REPAIRS	REPAIRS
30	NO	YES	NO	C	SEVERE	42'	15'	7	YES
NO	YES	NO	C	SEVERE	42'	15'	7	YES	NO
NO	YES	NO	C	SEVERE	42'	15'	7	YES	NO
NO	YES	NO	C	SEVERE	42'	15'	7	YES	NO
NO	YES	NO	C	SEVERE	42'	15'	7	YES	NO
NO	YES	NO	C	SEVERE	42'	15'	7	YES	NO
NO	YES	NO	C	SEVERE	42'	15'	7	YES	NO
NO	YES	NO	C	SEVERE	42'	15'	7	YES	NO
NO	YES	NO	C	SEVERE	42'	15'	7	YES	NO



ZONING INFO									
TOWN OF CORTLANDT									
ZONE HC & R-40									
EXNG	EXISTING	PROPOSED	PRINCIPAL BUILDING	ACCESSORY STRUCTURE	NOTE	EXNG	EXISTING	PROPOSED	PRINCIPAL BUILDING
NO	YES	NO	NO	C	SEVERE	42'	15'	7	YES
NO	YES	NO	NO	C	SEVERE	42'	15'	7	YES
NO	YES	NO	NO	C	SEVERE	42'	15'	7	YES
NO	YES	NO	NO	C	SEVERE	42'	15'	7	YES
NO	YES	NO	NO	C	SEVERE	42'	15'	7	YES
NO	YES	NO	NO	C	SEVERE	42'	15'	7	YES
NO	YES	NO	NO	C	SEVERE	42'	15'	7	YES
NO	YES	NO	NO	C	SEVERE	42'	15'	7	YES
NO	YES	NO	NO	C	SEVERE	42'	15'	7	YES



IT IS A VIOLATION OF THE LAW FOR ANY PERSON UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL TO ALTER ANY ITEM IN ANY WAY IF AN ITEM BEARING THE SEAL OF A LICENSED PROFESSIONAL IS ALTERED THE ALTERING LICENSED PROFESSIONAL SHALL AFFIX TO THE ITEM THEIR SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY THEIR SIGNATURE AND THE DATE OF SUCH ALTERATION AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

- DISTRICTS DISPLAYED**
- * HENDRICK HUDSON SCHOOL DISTRICT
 - * CORTLANDT CONSOLIDATED WATER DISTRICT
 - * MONTROSE FIRE DISTRICT
 - * CORTLANDT EMS
 - * COUNTY LEGISLATIVE DISTRICT 9
 - * ELECTION DISTRICT 020023
 - * NYS ASSEMBLY DISTRICT 95
 - * NYS SENATE DISTRICT 40
 - * US CONGRESSIONAL DISTRICT 17
- GENERAL NOTES**
1. THERE IS NO PROPOSED CHANGE TO EXISTING FLOOR AREA
 2. THERE ARE NO TREES OR SHRUBS REQUIRED TO BE REMOVE OR DISTURBED.

REVISION	DATE	DESCRIPTION	BY
2	5/29/2025	COMMENTS	JL
1	5/5/2025	COMMENTS	JL

CLIENT
YUKA'S LATIN FUSION
LOCATION
2011 ALBANY POST ROAD
CROTON-ON-HUDSON NY 10520
5518 - 2 - 17, HC/R40 ZONE, 38,520 SF

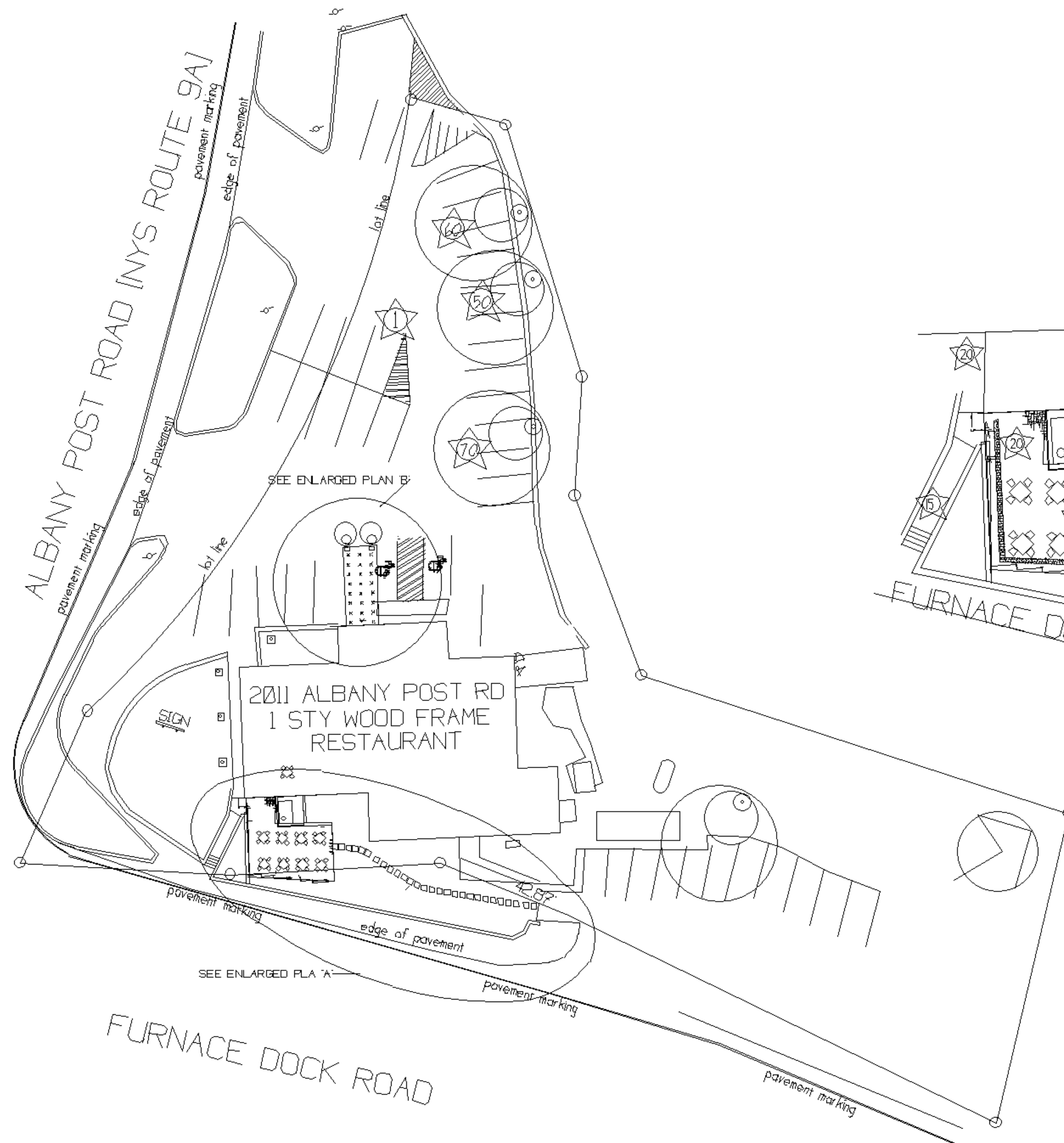
DRAWING DATE 4/17/2025 BY JL-ck

PATIO CANOPY PLAN

JOHN A. LENTINI
ARCHITECT
124 ALLAN STREET
CORTLANDT MANOR, NY 10567-1614
PHONE (914) 737-2690

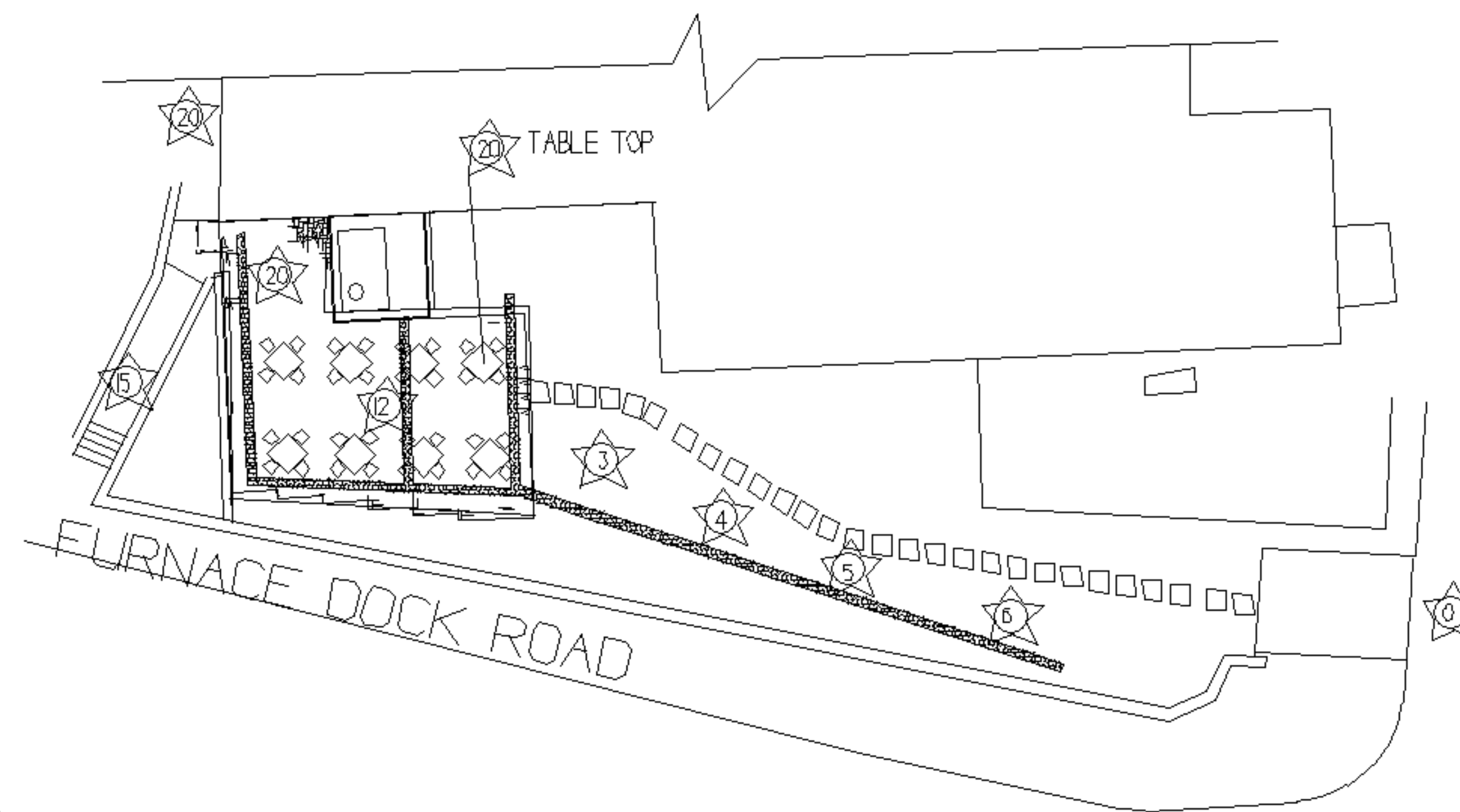
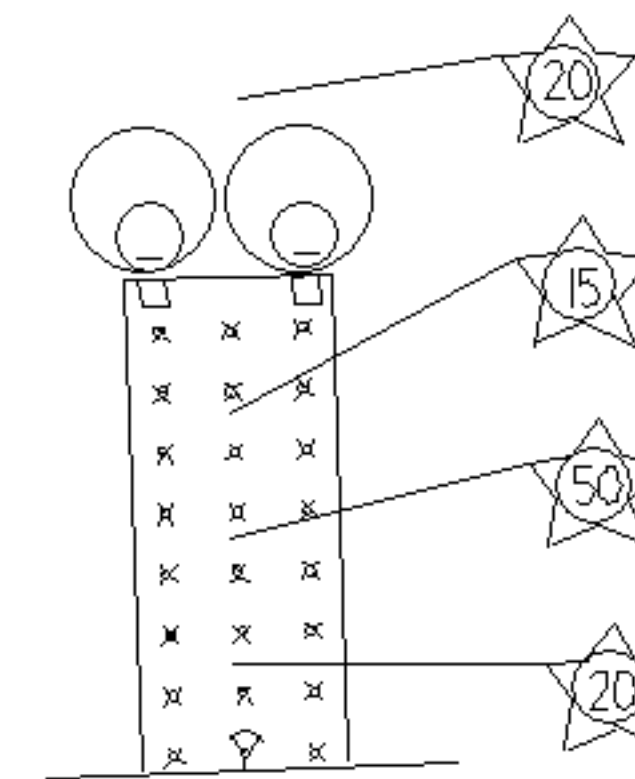
EMAIL: PENCILBASE@AOL.COM
REAL & SIGNATURE
DRAWING NUMBER 01625

EXPIRES 03/31/2026



PLOT PLAN
SCALE 1" = 20'-0"

ENLARGED PLAN 'B'
SCALE 1" = 10'-0"



ENLARGED PLAN 'A'
SCALE 1" = 10'-0"

LEGEND

- FREE STANDING POLE
- WLL/POST MOUNT LANTERN
- CEILING LED DOWN LIGHT
- LANDSCAPE LIGHT ON GROUND
- DOUBLE FLOOD LIGHT
- SINGLE FLOOD
- TEMPORARY STRING LIGHTS
- FOOT CANDLE READING

IT IS A VIOLATION OF THE LAW FOR ANY PERSON UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL TO ALTER ANY ITEM IN ANY WAY. IF AN ITEM BEARING THE SEAL OF A LICENSED PROFESSIONAL IS ALTERED THE ALTERING LICENSED PROFESSIONAL SHALL AFFIX TO THE ITEM THEIR SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY THEIR SIGNATURE AND THE DATE OF SUCH ALTERATION AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

- * REQUIRED LIGHTING UNDER NORMAL POWER CONDITIONS PER S 1008.2.1
- * LIGHTING TO REMAIN ON DURING ALL TIMES OF OCCUPANCY.
- * ALL MEANS OF EGRESS SHALL MAINTAIN LIGHTING AT THE SURFACE OF 1 FOOT-CANDLE (11 LUX).
- * LIGHTING AT EXIT DISCHARGE PER 1008.2.3
- * ILLUMINATION NOT REQUIRED IF LIGHTING IS NO LESS THAN 1 FOOTCANDLE (11 LUX)
- * ALL EXITS TO COMPLY WITH 1008.5. EXIT TO LEAD TO A PUBLIC WAY.

REVISION	DATE	DESCRIBE	BY
----------	------	----------	----

CLIENT
YUKA'S LATIN FUSION
LOCATION
2011 ALBANY POST ROAD
CROTON-ON-HUDSON, NY 10520
55.08 - 2 - 17. HC/R40 ZONE 38,500 SF
DRAWING DATE 5/5/2025 BY JL/gk

PATIO CANOPY PLAN
JOHN A. LENTINI
ARCHITECT
124 ALLAN STREET
CORTLANDT MANOR, NY 10567-1614
PHONE (914) 737-2840

EMAIL PENCILBASE@aol.com
DRAWING NUMBER 01625



S-2

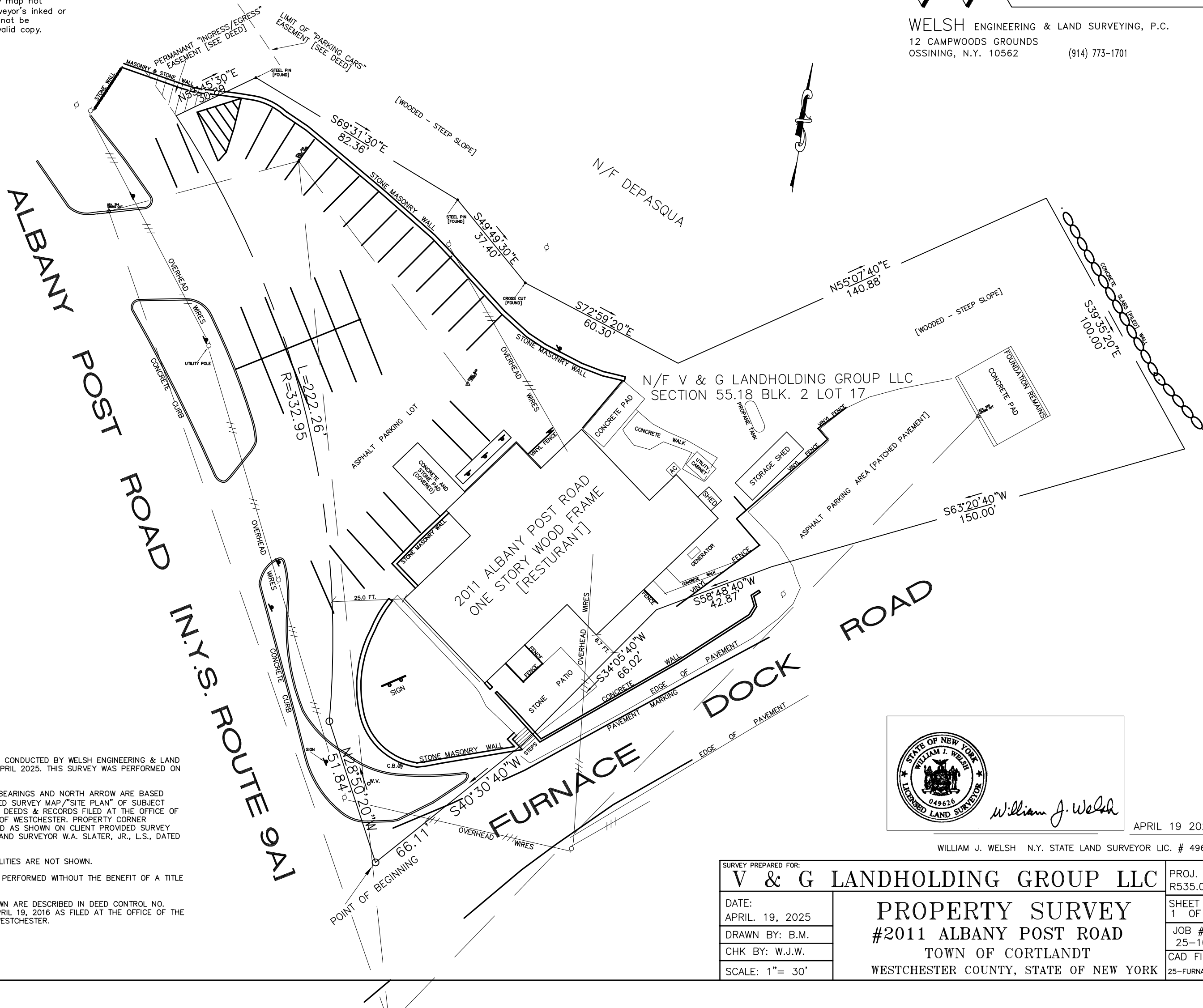
EXPIRES 03/31/2026

SHEET 2 OF 2

Unauthorized alteration or addition to this survey is a violation of section 7209, subdivision 2, of the New York State Education Law. Copies of this survey map not bearing the land surveyor's inked or embossed seal shall not be considered to be a valid copy.

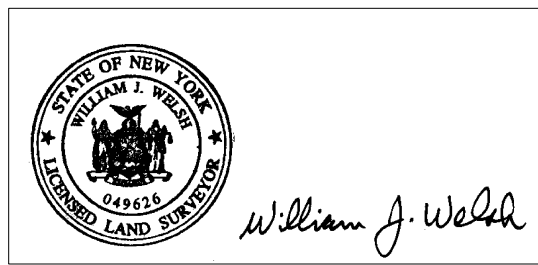


WELSH ENGINEERING & LAND SURVEYING, P.C.
12 CAMPWOODS GROUNDS
OSSINING, N.Y. 10562 (914) 773-1701



NOTES

1. FIELD SURVEY WAS CONDUCTED BY WELSH ENGINEERING & LAND SURVEYING, P.C. IN APRIL 2025. THIS SURVEY WAS PERFORMED ON THE GROUND.
2. PROPERTY LINES, BEARINGS AND NORTH ARROW ARE BASED UPON CLIENT PROVIDED SURVEY MAP/"SITE PLAN" OF SUBJECT PROPERTY AND FROM DEEDS & RECORDS FILED AT THE OFFICE OF THE CLERK, COUNTY OF WESTCHESTER. PROPERTY CORNER MARKERS WERE FOUND AS SHOWN ON CLIENT PROVIDED SURVEY MAP PREPARED BY LAND SURVEYOR W.A. SLATER, JR., L.S., DATED MAY 11, 1990.
3. UNDERGROUND UTILITIES ARE NOT SHOWN.
4. THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE REPORT.
5. EASEMENT(S) SHOWN ARE DESCRIBED IN DEED CONTROL NO. 561023226 DATED APRIL 19, 2016 AS FILED AT THE OFFICE OF THE CLERK, COUNTY OF WESTCHESTER.



WILLIAM J. WELSH N.Y. STATE LAND SURVEYOR LIC. # 49626

SURVEY PREPARED FOR: V & G LANDHOLDING GROUP LLC		PROJ. NO. R535.00
DATE: APRIL. 19, 2025	PROPERTY SURVEY #2011 ALBANY POST ROAD TOWN OF CORTLANDT WESTCHESTER COUNTY, STATE OF NEW YORK	SHEET NO. 1 OF 1
DRAWN BY: B.M.		JOB # 25-1015
CHK BY: W.J.W.		CAD FILE:
SCALE: 1"= 30'		25-FURNACE.DWG

ZONING BOARD OF APPEALS FACT SHEET

ZBA Member Assigned: Franco

CASE NO.: 2025-8

Name of Applicant: Jennifer Ronneburger, on behalf of Floor & Decor
Owner: Kitzbuehel Realty, LLC
Address of property: 2094 E. Main Street (NY 6)
Section, Block, Lot: 24.13-2-9
Prior ZBA Case No.: N/A
Zone: CD – Designed Commercial
Lot Size: 6.3 acres (±274,428 sf)

Request: Area variances from §245-7 Attachment 1 – Signs Permitted in Commercial and Industrial Districts:

- **Total area of all signs: Requested variance of 80 square feet (sf)**
80 sf permitted, 160 sf proposed
- **Directional sign (“Customer Pick-Up”): Requested variance of 4 sf**
4 sf permitted (via exception), 8 sf proposed

Staff Comments: The Code Enforcement office received a building permit application on May 11, 2025 for signs at the incoming Floor & Décor store, and issued a denial letter on June 17, 2025.

The applicant wants to install the following signs:

- A 136 sf internally-illuminated wall sign (on the northeast wall facing the parking lot)
 - A 24 sf internally-illuminated freestanding pole sign (along Route 6)
 - An 8 sf unlit “Customer Pick-Up” directional sign (on the northeast wall facing the parking lot).
- Note that directional signs are allowed via exception and don’t count towards overall sign area.

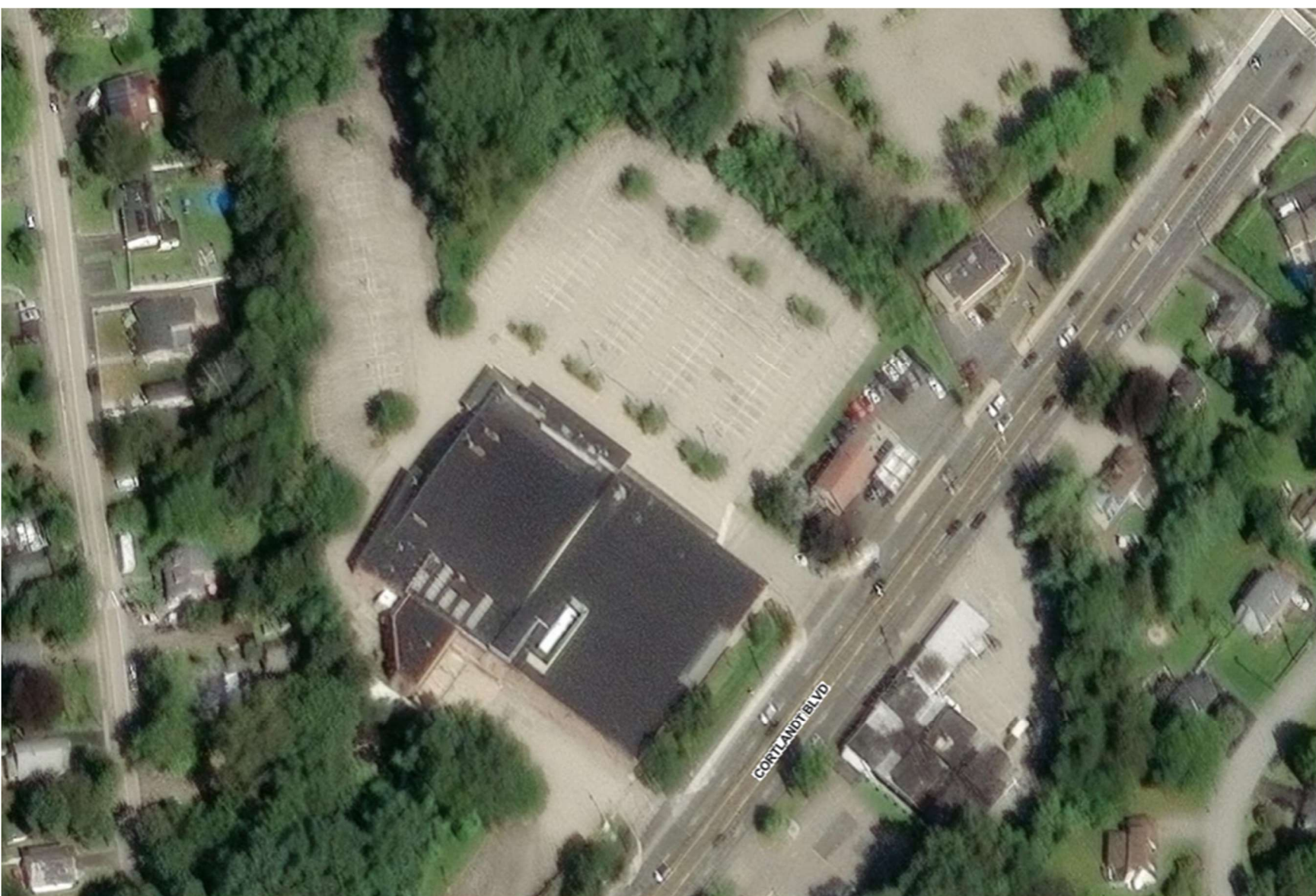
As per the code, sign area is dictated by the linear footage of the building frontage, which in this case is 180 feet (based on the building frontage along Route 6); the maximum sign area allowed is 80 sf. The applicant is proposing a code-compliant freestanding sign along Route 6, and non-compliant wall signs on the façade of the building facing the parking lot (not Route 6). As part of their justification for the requested variances, the applicant states that they need larger signs to improve visibility for customers. Given that the wall signs face the parking lot and thus are communicating to customers who have already turned into the property, the applicant may want to consider modifications to the freestanding sign along Route 6 to improve visibility. For example, changing it to a monument-style sign of 6-8 feet in height would eliminate the visual interference with the utility lines, bring the sign within drivers’ line of sight, and more clearly demarcate the driveway entrance. The incorporation of a decorative base with plantings would further enhance the visibility of a monument-style sign.

Variance(s) Requested: Two (2) area variances for signs, as follows:

	<u>REQUIRED</u>	<u>PROPOSED</u>	<u>VARIANCE</u>	<u>%</u>
Maximum Total Sign Area	80 sf.....	160 sf	80 sf	100%
Maximum Directional Sign Area	4 sf.....	8 sf.....	4 sf	100%

SEQR: TYPE II – No further compliance required







TOWN OF CORTLANDT
DEPARTMENT OF TECHNICAL SERVICES
CODE ENFORCEMENT DIVISION

Michael Preziosi, P.E.
Director – D.O.T.S

Martin G. Rogers, P.E.
*Director of Code
Enforcement/D.O.T.S.*

Town Hall, 1 Heady Street
Cortlandt Manor, NY 10567
Main #: 914-734-1010
Fax #: 914-293-0991

Town Supervisor
Richard H. Becker

Town Board
James F. Creighton
Cristin Jacoby
Robert E. Mayes
Joyce C. White

Go Permit
9061 Woodlark Terrace
Boynton Beach, FL 3347

June 17, 2025

Re: Proposed Signs
2094 E Main Street
Tax ID 24.13-2-9

Ms. Ronneburger:

I am in receipt of your Building Permit Application received May 11, 2025 for Signs at the above referenced premises.

I must deny this request under the following chapter of the Town of Cortlandt Zoning Code: Chapter 245, Section 245-7, Attachment 1. Total Business façade length is 180.0' +/- calculating as 180 SF of total wall signage to a Maximum of 80 SF. 136 SF wall signage is proposed plus minus 24 SF for the Pylon Sign = 160 SF Total requiring a variance for 80 SF (100%). 245-3 H. Directional signs 4 SF allowed. Customer Pick-up Directional Sign Proposed 8 SF requiring a variance for 4 SF (100%).

The Zoning Board of Appeals application shall be completed online. If the application is deemed complete additional instructions will follow and then the project will then be placed on the agenda for the next available Zoning Board of Appeals meeting.

Additional information may be required upon subsequent reviews. Technical comments for the submission may be issued separately. If you have any questions or comments please feel free to contact me by email or at 914-734-1010.

Sincerely,

Martin G. Rogers, P.E.
Director of Code Enforcement
Department of Technical Services

Cc: Chris Kehoe, Town Planner

Town of Cortlandt Manor
Zoning Board of Appeals
1 Heady Street
Cortlandt Manor, NY 10567

RE: Variance Justification for Proposed Signage – 2094 E. Main Street, Cortlandt Manor, NY (Tax ID: 24.13-2-9)

Dear Members of the Zoning Board of Appeals,

We respectfully submit this letter in support of the variance request for signage at the Floor & Decor retail location at 2094 E. Main Street. The proposed signage package exceeds the permitted maximums in two specific areas, and we offer the following justifications for approval based on site-specific conditions, branding needs, and overall compliance with the intent of the Town Code.

1. Variance Request for Wall Signage Area

Code Reference: Chapter 245, Section 245-7, Attachment 1

Code Language: Permits 1 square foot of signage per 1 foot of façade length, up to a maximum of 80 sq. ft.

Proposed: 135.8 sq. ft. (Floor & Decor main wall sign)

Variance Requested: 55.8 sq. ft.

Justification:

- The tenant occupies a large-format commercial retail space with a façade length of approximately 180 feet. The proportional scale of the proposed sign—representing less than 1 square foot per foot of façade—remains visually appropriate and avoids clutter or obtrusiveness.
- The proposed signage is consistent with Floor & Decor’s national branding standards and is essential for effective customer recognition and wayfinding, particularly given the site’s visibility from Route 6.
- The sign employs high-quality materials, LED illumination, and raceway-mounted channel letters designed to complement the building’s architecture without overpowering it.
- Denial of this variance would impose a practical difficulty for a national retailer to operate uniformly and may impact customer accessibility and safety due to reduced visibility.
- The sign does not contribute to visual blight, pose any safety concerns, or negatively impact neighboring properties or the character of the district.

2. Variance Request for Directional Signage Size

Code Reference: Section 245-3(H)

Code Language: Directional signs are limited to 4 sq. ft.

Proposed: 8 sq. ft. ("Customer Pick-Up" sign)

Variance Requested: 4 sq. ft.

Justification:

- The 8 sq. ft. directional sign is necessary to safely and effectively guide customers to the designated pick-up area, a critical function for this high-traffic retail location with curbside and bulk order services.
- The increased size allows the message to be legible from a distance while driving, enhancing traffic flow and minimizing confusion or unsafe stops within the parking lot.
- This sign is non-illuminated, discreet in design, and consistent in material and color with the main signage package, ensuring visual harmony across the site.
- The minor increase in square footage does not compromise the aesthetic of the property or the surrounding area and serves a practical operational purpose.

Conclusion

The requested variances are reasonable and necessary to support the business function, visibility, and safety of the Floor & Decor store at this location. The proposed signs are in keeping with the character of the commercial corridor and are professionally designed to minimize any visual impact while enhancing customer experience and public safety.

We respectfully request the Zoning Board's favorable consideration and approval of this signage variance application. Should any additional details or clarifications be required, we are available to provide further support.

Face Lit Channel Letters on Raceway / Wall Sign

Action:

- Manufacture and install new letterset as shown.
- Letterset to be installed on aluminum 7" x 4.5" raceways, painted to match wall with non corrosive fasteners

FLOOR DECOR Material & Color:

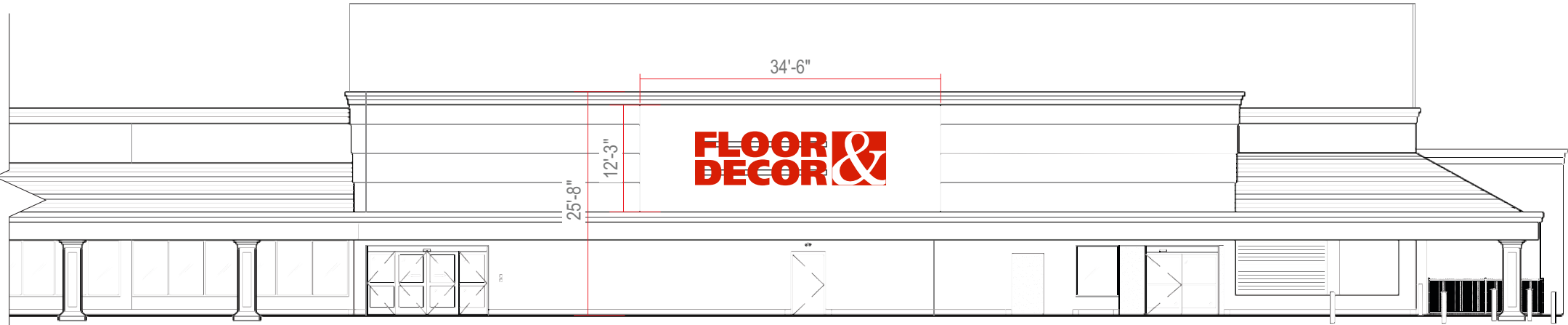
- Vinyl - 3M 3630-33 Red with UV Laminate
- Letter Faces - 2447 LD White Acrylic
- Trimcap - 1" Standard Red Jewelite
- Returns - Pre Finished Red
- Raceways - to match Wall TBD

& Material & Color:

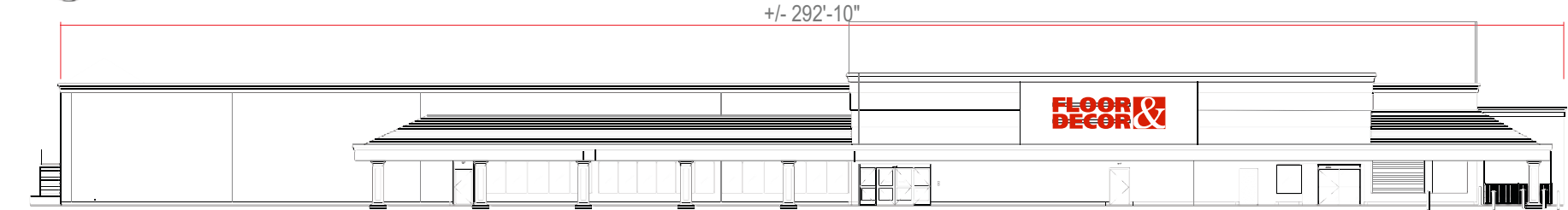
- Vinyl - 3M 3630-33 Red with UV Laminate
- Logo Faces - White Flex Face
- Cabinet - Painted Matthews MP 2032 Red
- Raceways - to match Wall TBD

Code:

Variance Required



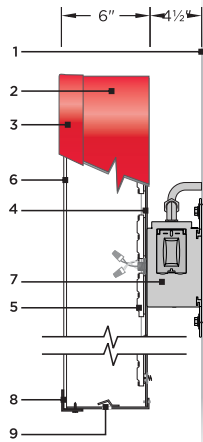
1 FRONT ELEVATION (NORTH)
SCALE: 1/16"=1'-0"



1 FRONT ELEVATION (NORTH)
SCALE: 1/32"=1'-0"



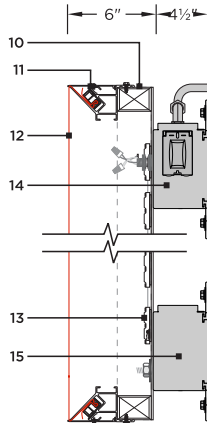
SCALE: 1/4"=1'-0"



letters

- 1 EIFS Fascia
- 2 .040 Pre-finished Red Aluminum Return (white interior)
- 3 1" Red Jewelite Trim Cap - bonded to face and #8 pan head screws to return - for 48" letters and smaller
- 4 3mm ACM Composite White Backs Stapled to Returns (interior of letter back caulked to prevent moisture)
- 5 White LED Modules (6500K)
- 6 .15" 7328 White Polycarbonate Face w/ 1st surface application of translucent red vinyl AND a clear/gloss UV Laminate
- 7 7" x 4.5" Extruded Raceway (finished to match fascia) to House All Wiring & Power Supplies, w/ NEC 600-6 Compliant Disconnect Switch
- 8 1" x 1" Aluminum Face Retainer (only for letters that are 54" and larger)
- 9 Weep Hole with Aluminum Light Baffle

- RETURNS: Pre-Finished Red (Hunter Red)
- TRIM CAPS: Vidon True Red
- METAL RETURNS: Painted to match PMS #1797 (gloss)
- FACES: #7328 White Polycarbonate
- FACE DECORATION: 3M 3630-33 Vinyl w/ Gloss UV Laminate
- RACEWAY: Painted to match Fascia (TBD)



ampersand

- 10 2" x 3" Aluminum Tube Frame to match Matthews MP 2032 Red
- 11 Bleed Face Retro Frame (SignComp #2014) 1/ Cover (SignComp #2121) and .080" Back. Frame & Retro-Frame to match Matthews MP 2032 Red White Panagraphics III Substrate with 1st Surface Application of Translucent Red Vinyl AND a clear/gloss UV Laminate
- 12 Translucent Red Vinyl AND a clear/gloss UV Laminate White LED Modules (6500K)
- 13 TOP RACEWAY: 7" x 4.5" Extruded Raceway (finished to match fascia) to House All Wiring & Power Supplies, w/ NEC 600-6 Compliant Disconnect Switch
- 14 BOTTOM RACEWAY: 7" x 4.5" Extruded Raceway (finished to match fascia). This Raceway contains no wiring or electrical components. (It is for mounting and stability reasons ONLY)
- 15 fascia. This Raceway contains no wiring or electrical components. (It is for mounting and stability reasons ONLY)

- FRAME/RETAINER: Painted to match PMS #1797 (gloss)
- FACES: Panagraphics III White Flexible Substrate
- FACE DECORATION: 3M 3630-33 Vinyl w/ Gloss UV Laminate
- RACEWAY: Painted to match Fascia (TBD)

DESIGN SPECIFICATIONS			
NYS Building Code 2020			
ASCE	7-16	Minimum Design Loads for Buildings & Other Structures	
ACI	318-14	Building Code Requirements for Structural Concrete	
ANSI/AISC	360-16	Specification for Structural Steel Buildings	
DESIGN LOADS			
Wind	V =	115 mph	
Exposure	C		
Risk Cat.	II		
Grnd. Snow	Pg =	30 psf	



5/6/2025

Jere Murdoch, PE
Professional Engineer
NY PE Lic. #089862
Exp. 1/31/2026

FD-72LOGO-34CLS-RW 135.8 Sq Ft



National Headquarters: 1077 West Blue Heron Blvd.
West Palm Beach, Florida 33404
800.772.7932
www.atlasbtw.com

Revisions:

03.28.25 (NR) Removed Opt 1 for S01

S01

PM: PS

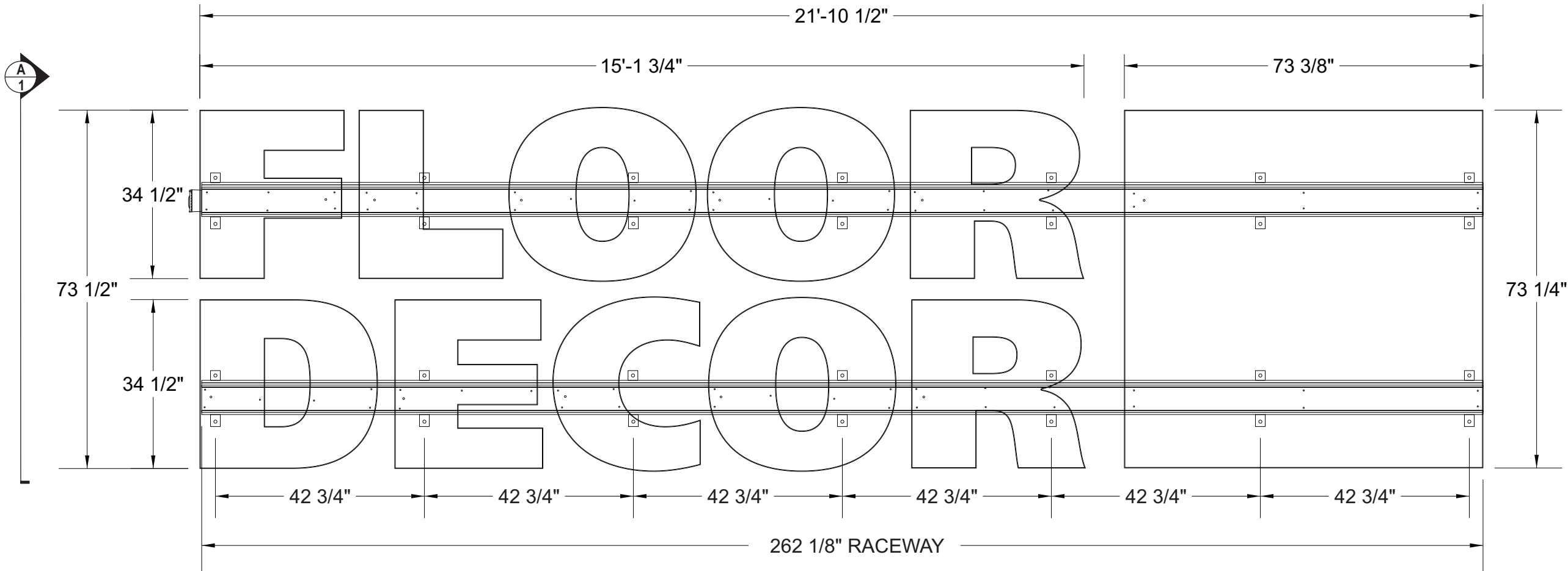
Drawn By: NR

Date: 01.14.2025

Address: 2094 E. Main Street

City State: Courtlandt Manor, NY 01567

Drawing Number: 216110



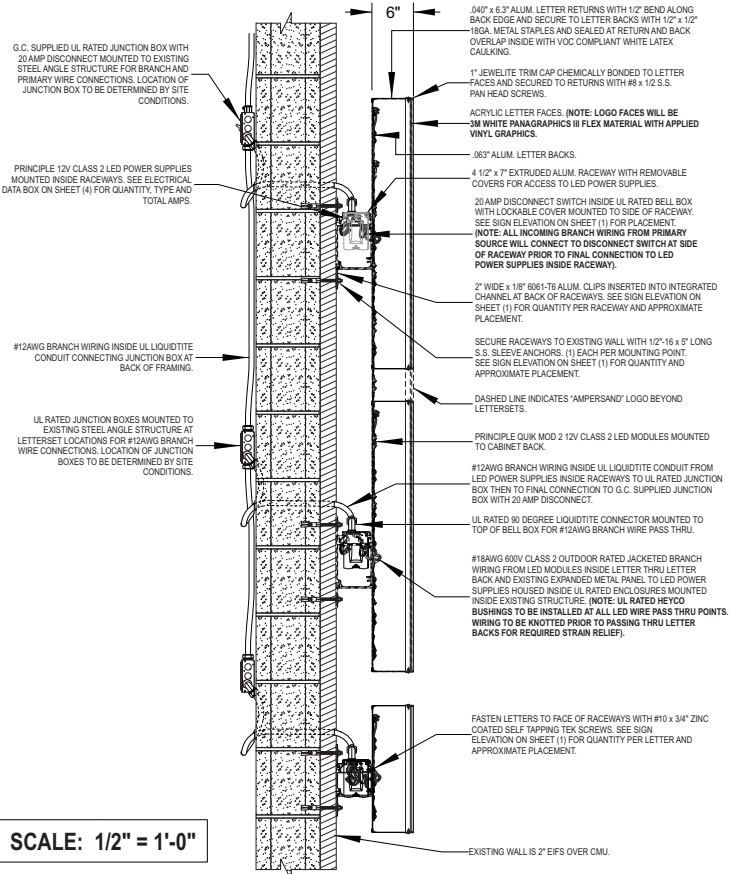
SIGN ELEVATION SHOWING QUANTITIES OF MOUNTING POINTS AND APPROXIMATE PLACEMENT
(FRONT VIEW- NORTH WALL)

SCALE: 1/2" = 1'-0"

LETTER MOUNTING SCHEDULE:

F = (6) FASTENERS
L = (4) FASTENERS
O (X3) = (6) FASTENERS EA.
R (X2) = (6) FASTENERS EA.
D = (6) FASTENERS
E = (4) FASTENERS
C = (3) FASTENERS EA.
" & " FLEX SIGN= (12) FASTENERS

Engineers Notes:
Install 1/2"Ø HILTI HLC Sleeve anchors or equal with SS washer into existing CMU Block per/tcc-guide at all typical mounting locations shown above. Block assumed to be Grout Filled. Hollow CMU Block install @ 38" O.C. spacing or less with a 8" max. side clearance. Provide Sch40 Aluminum pipe spacer spanning from mounting plate through to CMU block face at all mounting locations.



SCALE: 1/2" = 1'-0"

A : 1 SECTION THRU NORTH WALL @ SIGN LOCATION



Headquarters
1077 West Blue Heron Blvd., West Palm Beach, FL 33404

Northeast Division
707 Commerce Dr. Concord, NC 28025

Western Division
1586 High Meadows Way Cedar Hills, TX 75104

1-800-772-7932 atlasbtw.com

PROPRIETARY AND CONFIDENTIAL
THE INFORMATION CONTAINED IN THIS DRAWING IS THE SOLE PROPERTY OF ATLAS SIGN INDUSTRIES. ANY REPRODUCTION IN PART OR AS A WHOLE WITHOUT THE WRITTEN PERMISSION OF ATLAS SIGN INDUSTRIES IS PROHIBITED.

TITLE
FLOOR & DECOR

ADDRESS
**2094 E. MAIN STREET
COURTLAND MANOR, NY 01567**

DRAWING NO
ENG-216110-S01

REV.#
DATE
2 OF 3

	NAME	DATE
DRAWN BY	JH	04/30/2025
PROJECT MGR.	P. S AN	

ENGINEERING



Jere Murdoch, PE
Professional Engineer
NY PE Lic. #089862
Exp. 1/31/2026

DESIGN SPECIFICATIONS	
	NYS Building Code 2020
7-16	Minimum Design Loads for Buildings & Other Structures
318-14	Building Code Requirements for Structural Concrete
360-16	Specification for Structural Steel Buildings
DESIGN LOADS	
V =	115 mph
C	
II	
Pg =	30 psf

GENERAL:

- ALL MATERIALS AND WORK SHALL CONFORM TO THE REQUIREMENTS OF THE APPLICABLE LOCAL BUILDING CODE.
- CONSTRUCTION METHODS AND PROJECT SAFETY: DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE AND DO NOT INDICATE METHODS, PROCEDURES, OR SEQUENCE OF CONSTRUCTION. TAKE NECESSARY PRECAUTIONS TO MAINTAIN AND ENSURE THE INTEGRITY OF THE STRUCTURE DURING CONSTRUCTION. THE EOR WILL NOT ENFORCE SAFETY MEASURES OR REGULATIONS. THE CONTRACTOR SHALL DESIGN, CONSTRUCT, AND MAINTAIN ALL SAFETY DEVICES AND SHALL BE SOLELY RESPONSIBLE FOR CONFORMING TO ALL LOCAL, STATE, AND FEDERAL SAFETY AND HEALTH STANDARDS, LAWS, AND REGULATIONS.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS AND SITE CONDITIONS PRIOR TO THE START OF CONSTRUCTION AND NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES OR INCONSISTENCIES THAT ARE FOUND. NOTED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. DO NOT SCALE DRAWINGS.
- ALL OMISSIONS AND/OR CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF THE WORKING DRAWINGS AND SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER AND FIELD INSPECTOR. THE ENGINEER SHALL PROVIDE A SOLUTION PRIOR TO PROCEEDING WITH ANY WORK AFFECTED BY THE CONFLICT OR OMISSION.
- WHERE NO CONSTRUCTION DETAILS ARE SHOWN OR NOTED FOR ANY PART OF THE WORK, CONSTRUCT IN ACCORDANCE WITH THE STEEL CONSTRUCTION MANUAL, 14TH EDITION OR 2010 ALUMINUM DESIGN MANUAL .
- WHEN A DETAIL IS IDENTIFIED AS TYPICAL, THE CONTRACTOR IS TO APPLY THIS DETAIL IN ESTIMATING AND CONSTRUCTION TO EVERY LIKE CONDITION WHETHER OR NOT THE REFERENCE IS REPEATED IN EVERY INSTANCE.
- ANY CHANGE TO THE DESIGN AS SHOWN ON THE DRAWINGS REQUIRES PRIOR WRITTEN APPROVAL FROM DESIGN ENGINEER OF RECORD BEFORE CONSTRUCTION.
- WORK PERFORMED IN CONFLICT WITH THE STRUCTURAL DRAWINGS OR APPLICABLE BUILDING CODE REQUIREMENTS SHALL BE CORRECTED AT THE EXPENSE OF THE CONTRACTOR.
- VERIFICATION: VERIFY ALL DIMENSIONS, ELEVATIONS, AND SITE CONDITIONS BEFORE STARTING WORK. NOTIFY THE EOR IMMEDIATELY OF ANY DISCREPANCIES.

EXISTING CONDITIONS:

- IF EXISTING CONDITIONS ARE NOT AS DETAILED IN THIS DESIGN, THE INSTALLER SHALL CEASE WORK AND NOTIFY MURDOCH ENGINEERING IMMEDIATELY.
- MURDOCH ENGINEERING WILL NOT BE PERFORMING ON-SITE INSPECTIONS OR VERIFICATIONS. IT IS THE RESPONSIBILITY OF THE INSTALLER, STRUCTURE OWNER, AND PROPERTY OWNER TO IDENTIFY EXISTING CONDITIONS AND CONTACT MURDOCH ENGINEERING WITH ANY DISCREPANCIES OR CONCERNS.
- INSTALLER SHALL CONFIRM THE DIAMETER AND THICKNESS OF EXISTING MEMBERS AND NOTIFY MURDOCH ENGINEERING OF ANY DISCREPANCIES.
- INSTALLER SHALL INSPECT AND CONFIRM THE QUALITY OF EXISTING STRUCTURE AS "IN GOOD REPAIR". IF THERE ARE ANY INDICATIONS THAT THIS IS NOT THE CASE, INSTALLER SHALL CEASE WORK IMMEDIATELY AND NOTIFY MURDOCH ENGINEERING.
- ANY EXISTING INFORMATION SHOWN HAS BEEN FURNISHED BY THE PERSON(S) OR COMPANY THIS DOCUMENT WAS PREPARED FOR (SEE TITLE BLOCK). MURDOCH ENGINEERING IN NO WAY CERTIFIES THIS INFORMATION AS "AS-BUILT". IF THERE IS ANY REASON TO BELIEVE THE EXISTING CONDITIONS DETAILED HEREIN ARE NOT ACCURATE, MURDOCH ENGINEERING SHALL BE NOTIFIED IMMEDIATELY.

The designs, details and specifications contained in this drawing are confidential. The recipients of this drawing hereby acknowledge and agree that it is the sole property of Murdoch Engineering and that they shall neither use nor reveal any of the designs, details and specifications contained in this drawing, outside of the contractual agreement expressed written permission from Murdoch Engineering.

Deviations from this drawing shall not be made without consulting Murdoch Engineering. In case of incongruities between drawings, specifications, and details included in contract documents, Murdoch Engineering shall decide which indication must be followed and their decision shall be final.

Copyright Murdoch Engineering.
All rights reserved.

STEEL

1. STEEL SHAPES SHALL CONFORM TO THE FOLLOWING:

ROUND HSS	ASTM A500, GR B	Fy=42 KSI MIN.
SQUARE/RECT HSS	ASTM A500, GR B	Fy=46 KSI MIN.
THREADED ROD	F1554 GR 55	Fy=55 KSI MIN.
STEEL PLATE STD.	ASTM A36 ASTM	Fy=36 KSI MIN.
PIPE	A53, GR B	Fy=35 KSI MIN.

- BOLTS SHALL CONFORM TO ASTM A325 UNO.
- BOLTS AND THREADED ROD SHALL BE HOT-DIP GALVANIZED PER ASTM F2329 UNO.
- ANCHOR BOLTS SHALL CONFORM TO ASTM F1554 UNO.
- NUTS SHALL CONFORM TO ASTM A563.
- WASHERS SHALL CONFORM TO ASTM F844.
- STEEL HARDWARE SHALL BE HOT-DIP GALVANIZED PER ASTM A153 UNO
- WELDING:
 - WELD STRUCTURAL STEEL IN COMPLIANCE WITH ANSI/AWS D1.1 AND AISC SPECIFICATION, CHAPTER J. WELDERS SHALL BE CERTIFIED AS REQUIRED BY GOVERNING CODE AUTHORITY. WELDING SHALL BE DONE BY ELECTRIC ARC PROCESS USING LOW-HYDROGEN ELECTRODES WITH SPECIFIED TENSILE STRENGTH NOT LESS THAN 70 KSI UNLESS NOTED OTHERWISE.
 - ALL SHOP AND FIELD WELDS SHALL BE PERFORMED BY AN AWS OR ICC CERTIFIED WELDER WITH ACTIVE STATUS AT TIME OF WELDING
 - UNLESS A LARGER WELD SIZE IS INDICATED, PROVIDE MINIMUM SIZE WELDS PER AISC SPECIFICATION, SECTION J2, TABLE J2.4
 - BASE PLATES SHALL BE WELDED ON TOP AND BOTTOM WITH CONTINUOUS WELDS OF AT LEAST 1/4" (IF PLATE IS CUT TO FIT TUBE INTO PLATE)

ALUMINUM:

- FABRICATE AND ERECT ALUMINUM IN COMPLIANCE WITH THE ALUMINUM ASSOCIATION (AA) 2010 ALUMINUM DESIGN MANUAL (ADM) 1, THE SPECIFICATIONS FOR ALUMINUM SHEET METAL WORK (ASM35), AND IBC CHAPTER 20.
- PIPE AND TUBE SHALL BE 6061-T6 PER ASTM B241 OR B429 WITH Ftu=38 KSI MIN, Fty=35 KSI MIN, Ftuw=24 KSI MIN, Ftyw=15 KSI MIN.
- STD STRUCTURAL PROFILES SHALL BE 6061-T6 PER B308 WITH Ftu=38 KSI MIN, Fty=35 KSI MIN, Ftuw=24 KSI MIN, Ftyw=15 KSI MIN.
- SHEET AND PLATE SHALL BE 6061-T6 PER ASTM B209 WITH Ftu=42 KSI MIN, Fty=35 KSI MIN, Ftuw=24 KSI MIN, Ftyw=15 KSI MIN.
- EXTRUSIONS SHALL BE 6061-T6 PER ASTM B241 OR B429 WITH Ftu=38 KSI MIN, Fty=35 KSI MIN, Ftuw=24 KSI MIN, Ftyw=15 KSI MIN.
- ALL SHOP AND FIELD WELDS SHALL BE PERFORMED BY AN AWS OR ICC CERTIFIED WELDER WITH CURRENT STATUS AT TIME OF WELDING
- UNLESS A LARGER WELD SIZE IS INDICATED, PROVIDE MINIMUM SIZE WELD PER ADM. ALL ALUMINUM WELDED JOINTS SHALL HAVE WELD SIZES OF AT LEAST 1/4 INCH
- FILLET WELDS SHALL NOT EXCEED THINNEST MEMBER WALL THICKNESS JOINED.
- ALUMINUM WELD FILLER SHALL BE 5356 ALLOY
- WELDING PROCESS GMAW OR GTAW SHALL BE IN ACCORDANCE WITH AWS D1.2
- ALUMINUM CHANNEL LETTERS SHALL BE CONSTRUCTED OF 0.090" RETURNS AND 0.125" BACKS MINIMUM, UNLESS A LARGER SIZE IS INDICATED ON DRAWINGS. THIS NOTE SHALL SUPERCEDE DRAWING DETAILS.
- PROVIDE NEOPRENE GASKET BETWEEN DISSIMILAR METALS TO PREVENT GALVANIC CORROSION
- ALUMINUM DIRECTLY EMBEDDED INTO CONCRETE SHALL BE CAPPED AT BOTTOM AND COATED WITH BITUMINOUS COATING OR POLYURETHANE WHERE IN CONTACT WITH CONCRETE.
- FASTENERS BETWEEN DISSIMILAR METALS SHALL BE STAINLESS STEEL 316.

SCOPE OF WORK:

- LIMITS OF LIABILITY TO EXTEND ONLY TO THE QUANTITY INDICATED. ATTEMPTS IN PART OR IN WHOLE TO INSTALL GREATER QUANTITIES THAN THOSE SPECIFIED WITHOUT CONSULTING MURDOCH ENGINEERING SHALL VOID ALL PROFESSIONAL LIABILITY AND COVERAGE. ENGINEERING LIABILITY IS LIMITED TO BUILDING CONNECTIONS.

2399 NJ-34 A-2
Manasquan, NJ 08736
(973) 570



murdochengineering.com
projects@murdochengineering.com

PREPARED FOR:



PROJECT TITLE:

FLOOR & DECOR

PROJECT ADDRESS:

2094 E. MAIN STREET
COURTLAND MANOR, NY 01567

3 OF 3

DESIGN SPECIFICATIONS

NYS Building Code 2020			
ASCE	7-16	Minimum Design Loads for Buildings & Other Structures	
ACI	318-14	Building Code Requirements for Structural Concrete	
ANSI/AISC	360-16	Specification for Structural Steel Buildings	

DESIGN LOADS

Wind	V =	115 mph
Exposure	C	
Risk Cat.	II	
Grnd. Snow	Pg =	30 psf



2399 NJ-34, A-2
MANASQUAN, NJ 08736
(973) 570-8215 x0



Jere Murdoch, PE
Professional Engineer
NY PE Lic. #089862
Exp. 1/31/2026

DWG TITLE:

GENERAL NOTES

SHEET:

S.1

SIZE:

B

Non Lit Channel Letters on Raceway / Wall Sign

Action:

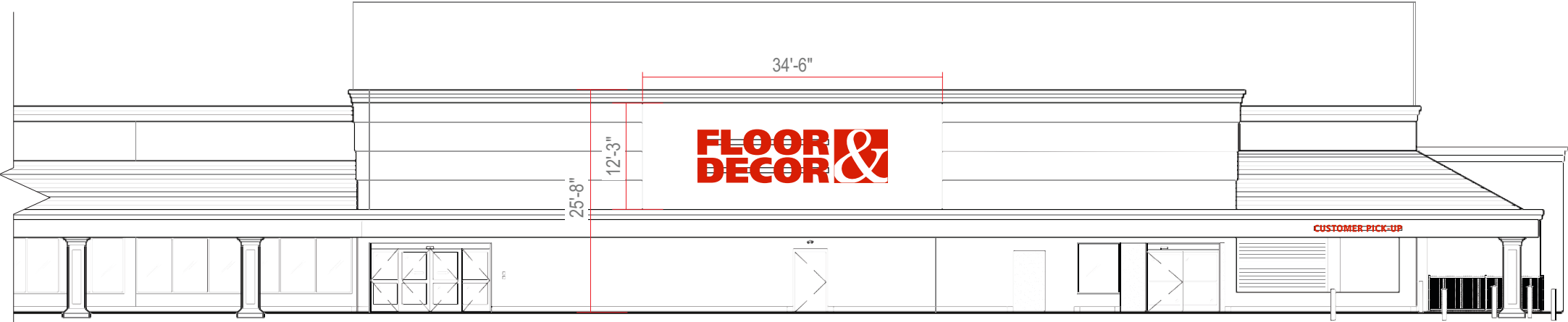
- Manufacture and install new non-lit letterset as shown.
- Letterset to be installed on aluminum 7" x 4.5" raceways, painted to match wall with non corrosive fasteners

Material & Color:

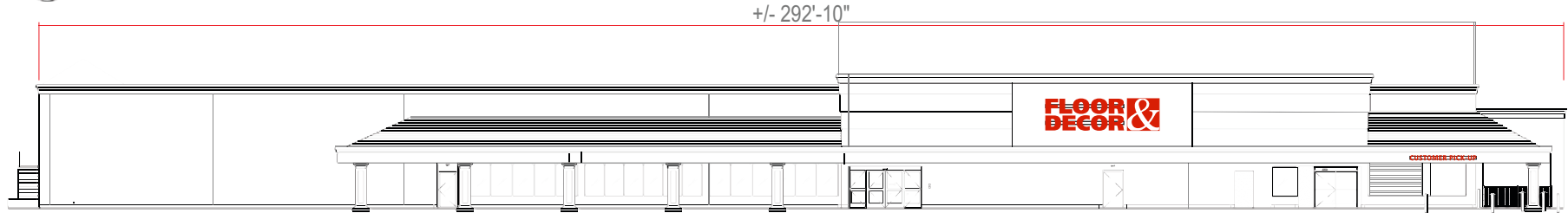
- Vinyl - 3M 3630-33 Red with UV Laminate
- Letter Faces - 2447 LD White Acrylic
- Trimcap - 1" Standard Red Jewelite
- Returns - Pre Finished Red
- Raceways - to match Wall TBD

Code:

Variance Required

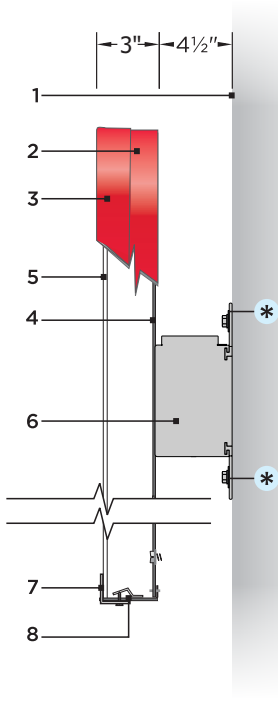
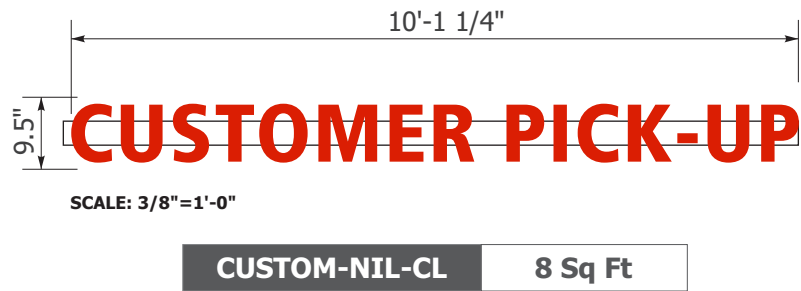


1 FRONT ELEVATION (NORTH)
SCALE: 1/16"=1'-0"



1 FRONT ELEVATION (NORTH)
SCALE: 1/32"=1'-0"

1 OF 3

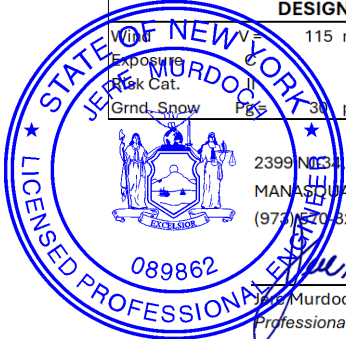


letters

- 1 EIFS Fascia
- 2 .040 Pre-finished Red Aluminum Return (white interior)
- 3 1" Red Jewelite Trim Cap - bonded to face and #8 pan head screws to return - for 48" letters and smaller
- 4 3mm ACM Composite White Backs Stapled to Returns (interior of letter back caulked to prevent moisture)
- 5 .15" 7328 White Polycarbonate Face w/ 1st surface application of translucent red vinyl AND a clear/gloss UV Laminate
- 6 7" x 4.5" Extruded Raceway (finished to match fascia)
- 7 1" x 1" Aluminum Face Retainer (only for letters that are 54" and larger)
- 8 Weep Hole with Aluminum Light Baffle

- RETURNS: Pre-Finished Red (Hunter Red)
- TRIM CAPS: Vidon True Red
- METAL RETURNS: Painted to match PMS #1797 (gloss)
- FACES: #7328 White Polycarbonate
- FACE DECORATION: 3M 3630-33 Vinyl w/ Gloss UV Laminate
- RACEWAY: Painted to match Fascia (TBD)

DESIGN SPECIFICATIONS			
NYS Building Code 2020			
ASCE	7-16	Minimum Design Loads for Buildings & Other Structures	
ACI	318-14	Building Code Requirements for Structural Concrete	
ANSI/AISC	360-16	Specification for Structural Steel Buildings	
DESIGN LOADS			
Wind	115 mph		
Exposure	B		
Risk Cat.	II		
Grnd. Snow	Pgs	30	psf

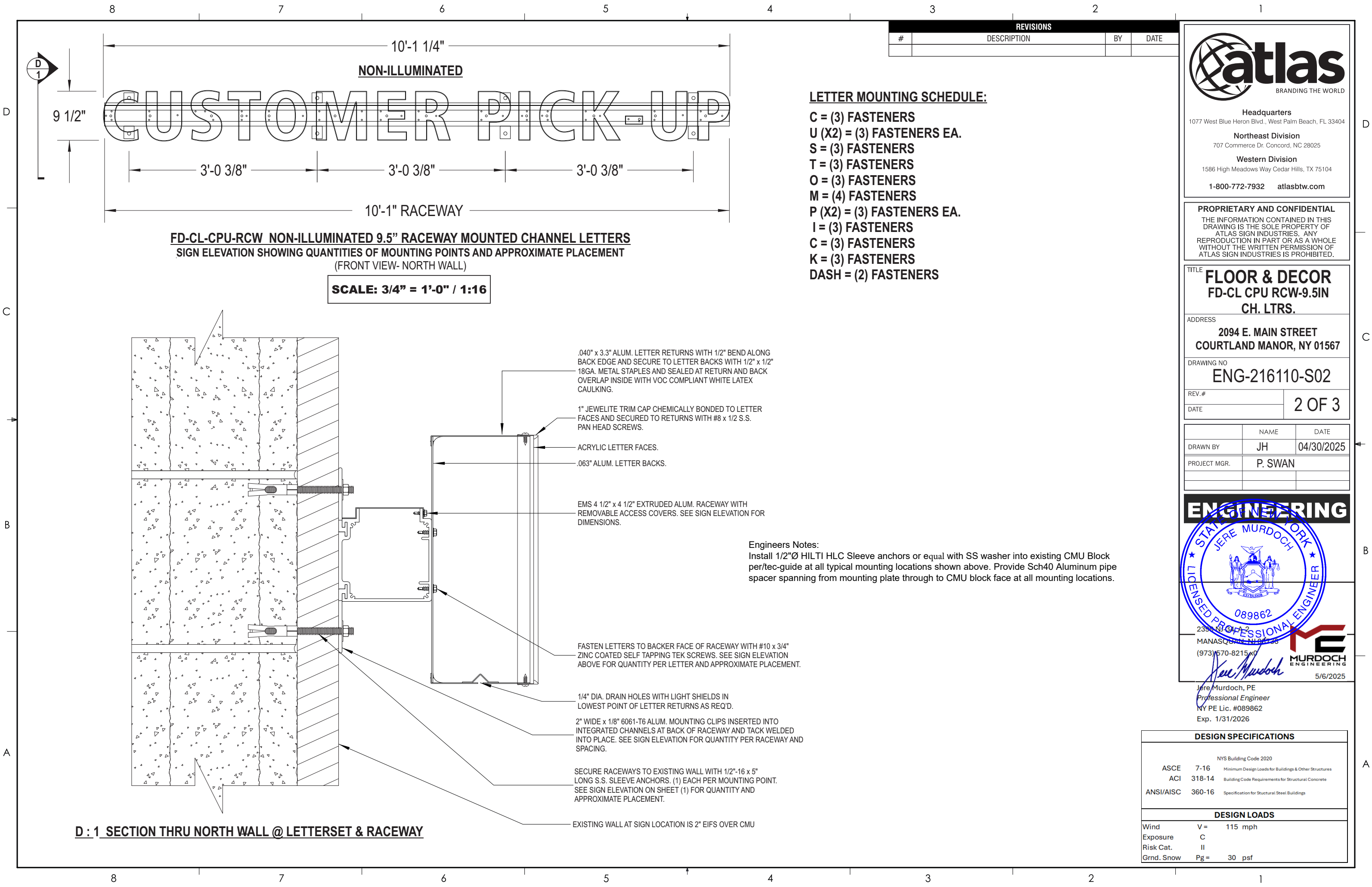


National Headquarters: 1077 West Blue Heron Blvd.
West Palm Beach, Florida 33404
800.772.7932
www.atlasbtw.com

Revisions:		
03.28.25 (NR) Removed Opt 1 for S01	...	
...	...	
...	...	
...	...	
...	...	

S02

PM: PS	Address: 2094 E. Main Street
Drawn By: NR	City State: Courtlandt Manor, NY 01567
Date: 01.14.2025	Drawing Number: 216110



GENERAL:

- ALL MATERIALS AND WORK SHALL CONFORM TO THE REQUIREMENTS OF THE APPLICABLE LOCAL BUILDING CODE.
- CONSTRUCTION METHODS AND PROJECT SAFETY: DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE AND DO NOT INDICATE METHODS, PROCEDURES, OR SEQUENCE OF CONSTRUCTION. TAKE NECESSARY PRECAUTIONS TO MAINTAIN AND ENSURE THE INTEGRITY OF THE STRUCTURE DURING CONSTRUCTION. THE EOR WILL NOT ENFORCE SAFETY MEASURES OR REGULATIONS. THE CONTRACTOR SHALL DESIGN, CONSTRUCT, AND MAINTAIN ALL SAFETY DEVICES AND SHALL BE SOLELY RESPONSIBLE FOR CONFORMING TO ALL LOCAL, STATE, AND FEDERAL SAFETY AND HEALTH STANDARDS, LAWS, AND REGULATIONS.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS AND SITE CONDITIONS PRIOR TO THE START OF CONSTRUCTION AND NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES OR INCONSISTENCIES THAT ARE FOUND. NOTED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. DO NOT SCALE DRAWINGS.
- ALL OMISSIONS AND/OR CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF THE WORKING DRAWINGS AND SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER AND FIELD INSPECTOR. THE ENGINEER SHALL PROVIDE A SOLUTION PRIOR TO PROCEEDING WITH ANY WORK AFFECTED BY THE CONFLICT OR OMISSION.
- WHERE NO CONSTRUCTION DETAILS ARE SHOWN OR NOTED FOR ANY PART OF THE WORK, CONSTRUCT IN ACCORDANCE WITH THE STEEL CONSTRUCTION MANUAL, 14TH EDITION OR 2010 ALUMINUM DESIGN MANUAL .
- WHEN A DETAIL IS IDENTIFIED AS TYPICAL, THE CONTRACTOR IS TO APPLY THIS DETAIL IN ESTIMATING AND CONSTRUCTION TO EVERY LIKE CONDITION WHETHER OR NOT THE REFERENCE IS REPEATED IN EVERY INSTANCE.
- ANY CHANGE TO THE DESIGN AS SHOWN ON THE DRAWINGS REQUIRES PRIOR WRITTEN APPROVAL FROM DESIGN ENGINEER OF RECORD BEFORE CONSTRUCTION.
- WORK PERFORMED IN CONFLICT WITH THE STRUCTURAL DRAWINGS OR APPLICABLE BUILDING CODE REQUIREMENTS SHALL BE CORRECTED AT THE EXPENSE OF THE CONTRACTOR.
- VERIFICATION: VERIFY ALL DIMENSIONS, ELEVATIONS, AND SITE CONDITIONS BEFORE STARTING WORK. NOTIFY THE EOR IMMEDIATELY OF ANY DISCREPANCIES.

EXISTING CONDITIONS:

- IF EXISTING CONDITIONS ARE NOT AS DETAILED IN THIS DESIGN, THE INSTALLER SHALL CEASE WORK AND NOTIFY MURDOCH ENGINEERING IMMEDIATELY.
- MURDOCH ENGINEERING WILL NOT BE PERFORMING ON-SITE INSPECTIONS OR VERIFICATIONS. IT IS THE RESPONSIBILITY OF THE INSTALLER, STRUCTURE OWNER, AND PROPERTY OWNER TO IDENTIFY EXISTING CONDITIONS AND CONTACT MURDOCH ENGINEERING WITH ANY DISCREPANCIES OR CONCERNS.
- INSTALLER SHALL CONFIRM THE DIAMETER AND THICKNESS OF EXISTING MEMBERS AND NOTIFY MURDOCH ENGINEERING OF ANY DISCREPANCIES.
- INSTALLER SHALL INSPECT AND CONFIRM THE QUALITY OF EXISTING STRUCTURE AS "IN GOOD REPAIR". IF THERE ARE ANY INDICATIONS THAT THIS IS NOT THE CASE, INSTALLER SHALL CEASE WORK IMMEDIATELY AND NOTIFY MURDOCH ENGINEERING.
- ANY EXISTING INFORMATION SHOWN HAS BEEN FURNISHED BY THE PERSON(S) OR COMPANY THIS DOCUMENT WAS PREPARED FOR (SEE TITLE BLOCK). MURDOCH ENGINEERING IN NO WAY CERTIFIES THIS INFORMATION AS "AS-BUILT". IF THERE IS ANY REASON TO BELIEVE THE EXISTING CONDITIONS DETAILED HEREIN ARE NOT ACCURATE, MURDOCH ENGINEERING SHALL BE NOTIFIED IMMEDIATELY.

The designs, details and specifications contained in this drawing are confidential. The recipients of this drawing hereby acknowledge and agree that it is the sole property of Murdoch Engineering and that they shall neither use nor reveal any of the designs, details and specifications contained in this drawing, outside of the contractual agreement expressed written permission from Murdoch Engineering.

Deviations from this drawing shall not be made without consulting Murdoch Engineering. In case of incongruities between drawings, specifications, and details included in contract documents, Murdoch Engineering shall decide which indication must be followed and their decision shall be final.

Copyright Murdoch Engineering.
All rights reserved.

STEEL

1. STEEL SHAPES SHALL CONFORM TO THE FOLLOWIN

ROUND HSS	ASTM A500, GR B	Fy=42 KSI MIN.
SQUARE/RECT HSS	ASTM A500, GR B	Fy=46 KSI MIN.
THREADED ROD	F1554 GR 55	Fy=55 KSI MIN.
STEEL PLATE STD.	ASTM A36 ASTM	Fy=36 KSI MIN.
PIPE	A53, GR B	Fy=35 KSI MIN.

- BOLTS SHALL CONFORM TO ASTM A325 UNO.
- BOLTS AND THREADED ROD SHALL BE HOT-DIP GALVANIZED PER ASTM F2329 UNO.
- ANCHOR BOLTS SHALL CONFORM TO ASTM F1554 UNO.
- NUTS SHALL CONFORM TO ASTM A563.
- WASHERS SHALL CONFORM TO ASTM F844.
- STEEL HARDWARE SHALL BE HOT-DIP GALVANIZED PER ASTM A153 UNO
- WELDING:
 - WELD STRUCTURAL STEEL IN COMPLIANCE WITH ANSI/AWS D1.1 AND AISC SPECIFICATION, CHAPTER J. WELDERS SHALL BE CERTIFIED AS REQUIRED BY GOVERNING CODE AUTHORITY. WELDING SHALL BE DONE BY ELECTRIC ARC PROCESS USING LOW-HYDROGEN ELECTRODES WITH SPECIFIED TENSILE STRENGTH NOT LESS THAN 70 KSI UNLESS NOTED OTHERWISE.
 - ALL SHOP AND FIELD WELDS SHALL BE PERFORMED BY AN AWS OR ICC CERTIFIED WELDER WITH ACTIVE STATUS AT TIME OF WELDING
 - UNLESS A LARGER WELD SIZE IS INDICATED, PROVIDE MINIMUM SIZE WELDS PER AISC SPECIFICATION, SECTION J2, TABLE J2.4
 - BASE PLATES SHALL BE WELDED ON TOP AND BOTTOM WITH CONTINUOUS WELDS OF AT LEAST 1/4" (IF PLATE IS CUT TO FIT TUBE INTO PLATE)

ALUMINUM:

- FABRICATE AND ERECT ALUMINUM IN COMPLIANCE WITH THE ALUMINUM ASSOCIATION (AA) 2010 ALUMINUM DESIGN MANUAL (ADM) 1, THE SPECIFICATIONS FOR ALUMINUM SHEET METAL WORK (ASM35), AND IBC CHAPTER 20.
- PIPE AND TUBE SHALL BE 6061-T6 PER ASTM B241 OR B429 WITH Ftu=38 KSI MIN, Fty=35 KSI MIN, Ftuw=24 KSI MIN, Ftyw=15 KSI MIN.
- STD STRUCTURAL PROFILES SHALL BE 6061-T6 PER B308 WITH Ftu=38 KSI MIN, Fty=35 KSI MIN, Ftuw=24 KSI MIN, Ftyw=15 KSI MIN.
- SHEET AND PLATE SHALL BE 6061-T6 PER ASTM B209 WITH Ftu=42 KSI MIN, Fty=35 KSI MIN, Ftuw=24 KSI MIN, Ftyw=15 KSI MIN.
- EXTRUSIONS SHALL BE 6061-T6 PER ASTM B241 OR B429 WITH Ftu=38 KSI MIN, Fty=35 KSI MIN, Ftuw=24 KSI MIN, Ftyw=15 KSI MIN.
- ALL SHOP AND FIELD WELDS SHALL BE PERFORMED BY AN AWS OR ICC CERTIFIED WELDER WITH CURRENT STATUS AT TIME OF WELDING
- UNLESS A LARGER WELD SIZE IS INDICATED, PROVIDE MINIMUM SIZE WELD PER ADM. ALL ALUMINUM WELDED JOINTS SHALL HAVE WELD SIZES OF AT LEAST 1/4 INCH
- FILLET WELDS SHALL NOT EXCEED THINNEST MEMBER WALL THICKNESS JOINED.
- ALUMINUM WELD FILLER SHALL BE 5356 ALLOY
- WELDING PROCESS GMAW OR GTAW SHALL BE IN ACCORDANCE WITH AWS D1.2
- ALUMINUM CHANNEL LETTERS SHALL BE CONSTRUCTED OF 0.090" RETURNS AND 0.125" BACKS MINIMUM, UNLESS A LARGER SIZE IS INDICATED ON DRAWINGS. THIS NOTE SHALL SUPERCEDE DRAWING DETAILS.
- PROVIDE NEOPRENE GASKET BETWEEN DISSIMILAR METALS TO PREVENT GALVANIC CORROSION
- ALUMINUM DIRECTLY EMBEDDED INTO CONCRETE SHALL BE CAPPED AT BOTTOM AND COATED WITH BITUMINOUS COATING OR POLYURETHANE WHERE IN CONTACT WITH CONCRETE.
- FASTENERS BETWEEN DISSIMILAR METALS SHALL BE STAINLESS STEEL 316.

SCOPE OF WORK:

- LIMITS OF LIABILITY TO EXTEND ONLY TO THE QUANTITY INDICATED. ATTEMPTS IN PART OR IN WHOLE TO INSTALL GREATER QUANTITIES THAN THOSE SPECIFIED WITHOUT CONSULTING MURDOCH ENGINEERING SHALL VOID ALL PROFESSIONAL LIABILITY AND COVERAGE. ENGINEERING LIABILITY IS LIMITED TO BUILDING CONNECTIONS.

2399 NJ-34 A-2
Manasquan, NJ 08736
(973) 570



murdochengineering.com
projects@murdochengineering.com

PREPARED FOR:



PROJECT TITLE:

FLOOR & DECOR

PROJECT ADDRESS:

2094 E. MAIN STREET
COURTLAND MANOR, NY 01567

3 OF 3

DESIGN SPECIFICATIONS

NYS Building Code 2020			
ASCE	7-16	Minimum Design Loads for Buildings & Other Structures	
ACI	318-14	Building Code Requirements for Structural Concrete	
ANSI/AISC	360-16	Specification for Structural Steel Buildings	

DESIGN LOADS

Wind	V =	115 mph
Exposure	C	
Risk Cat.	II	
Grnd. Snow	Pg =	30 psf



2399 NJ-34, A-2
MANASQUAN, NJ 08736
(973) 570-8215 x0



Jere Murdoch, PE
Professional Engineer
NY PE Lic. #089862
Exp. 1/31/2026

DWG TITLE:

GENERAL NOTES

SHEET:

S.1

SIZE:

B

Pylon

Action:

- Manufacture and install new double faced monument sign.
- Sign to be of aluminum construction with 1" retainers, painted PMS 1797c
- Pole to be painted black.
- Faces to be white polycarb with first surface vinyl applied
- Sign to be internally illuminated with white LEDs.
- Sign to be set in concrete footer per engineering.
- (2) Digitally printed Low tack coming soon vinyl to be applied to Floor Decor faces.

Material & Color:

- ☐ Faces: White Polycarb
- ☒ Vinyl: 3M #3630-33 red with Gloss UV Laminate
- ☒ Cabinet: Painted to match PMS 1797C
- ☒ Pole: Painted to match Black
- ☐ Illumination: White LED
- COMING SOON

Vinyl: Digitally printed on low tack vinyl

Code:

Allowed: 16 OAH & 24 SQFT

Proposed Cabinet: 24 Sq Ft



***PYLON- SET BACK SO NOT TO INTERFERE WITH POWER LINES

DESIGN SPECIFICATIONS			
NYS Building Code 2020			
ASCE	7-16	Minimum Design Loads for Buildings & Other Structures	
ACI	318-14	Building Code Requirements for Structural Concrete	
ANSI/AISC	360-16	Specification for Structural Steel Buildings	
DESIGN LOADS			
Wind	V =	115 mph	
Exposure	B		
Risk Cat.	II		
Grnd. Snow	Pg =	30 psf	



PROPOSED LOCATION

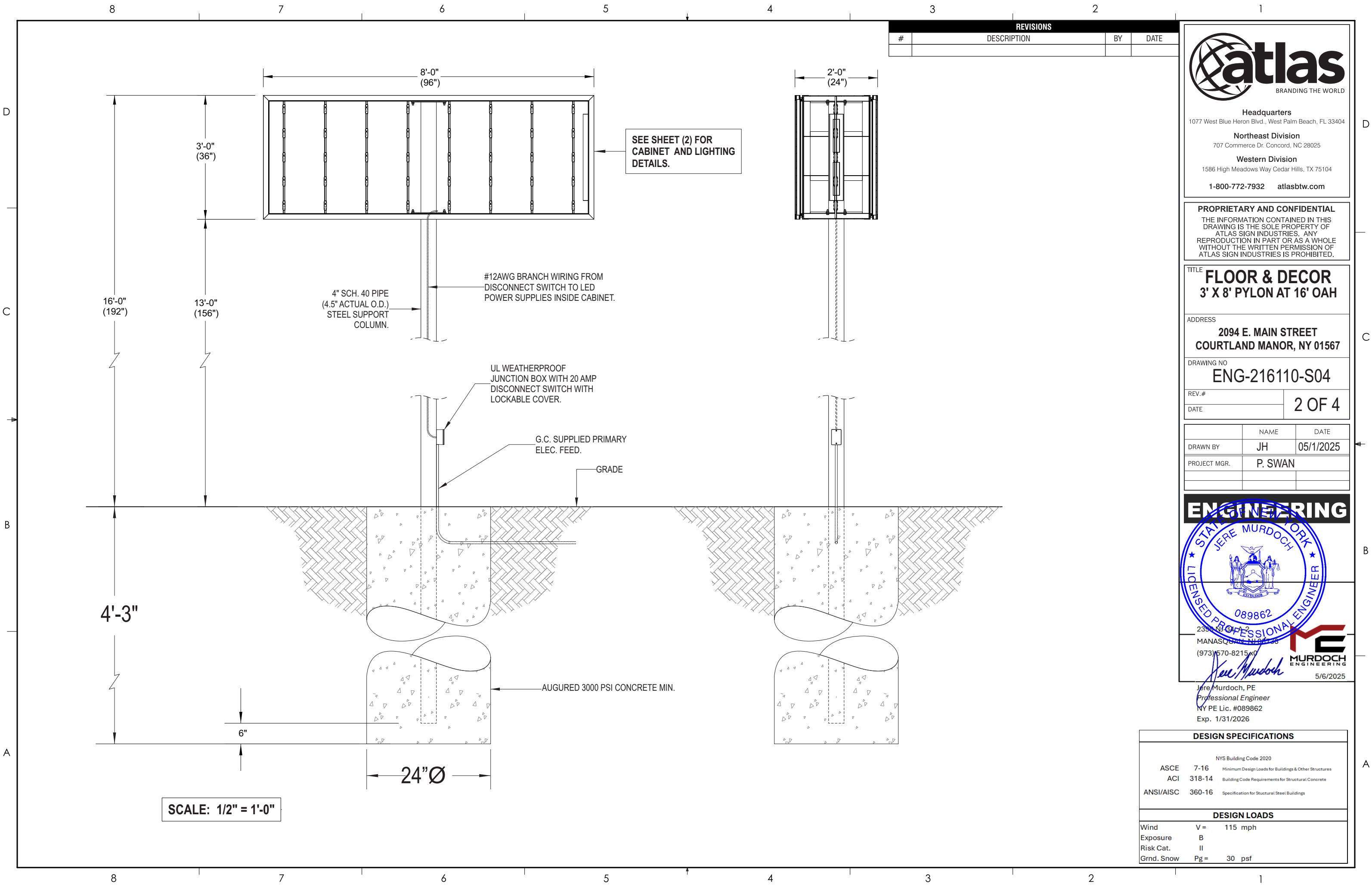


National Headquarters: 1077 West Blue Heron Blvd.
West Palm Beach, Florida 33404
800.772.7932
www.atlasbtw.com

Revisions:		
03.28.25 (NR) Removed Opt 1 for S01	...	
...	...	
...	...	
...	...	
...	...	

S04

PM: PS	Address: 2094 E. Main Street
Drawn By: NR	City State: Courtlandt Manor, NY 01567
Date: 01.14.2025	Drawing Number: 216110



REVISIONS			
#	DESCRIPTION	BY	DATE



Headquarters
1077 West Blue Heron Blvd., West Palm Beach, FL 33404

Northeast Division
707 Commerce Dr. Concord, NC 28025

Western Division
1586 High Meadows Way Cedar Hills, TX 75104

1-800-772-7932 atlasbtw.com

PROPRIETARY AND CONFIDENTIAL

THE INFORMATION CONTAINED IN THIS DRAWING IS THE SOLE PROPERTY OF ATLAS SIGN INDUSTRIES. ANY REPRODUCTION IN PART OR AS A WHOLE WITHOUT THE WRITTEN PERMISSION OF ATLAS SIGN INDUSTRIES IS PROHIBITED.

TITLE
FLOOR & DECOR
3' X 8' PYLON AT 16' OAH

ADDRESS
2094 E. MAIN STREET
COURTLAND MANOR, NY 01567

DRAWING NO
ENG-216110-S04

REV.#
DATE

2 OF 4

	NAME	DATE
DRAWN BY	JH	05/1/2025
PROJECT MGR.	P. SWAN	

ENGINEERING



2350 N. GUYANA AVE
MANASSAS, VA 20108
(973) 570-8215 x0

MURDOCH ENGINEERING

5/6/2025

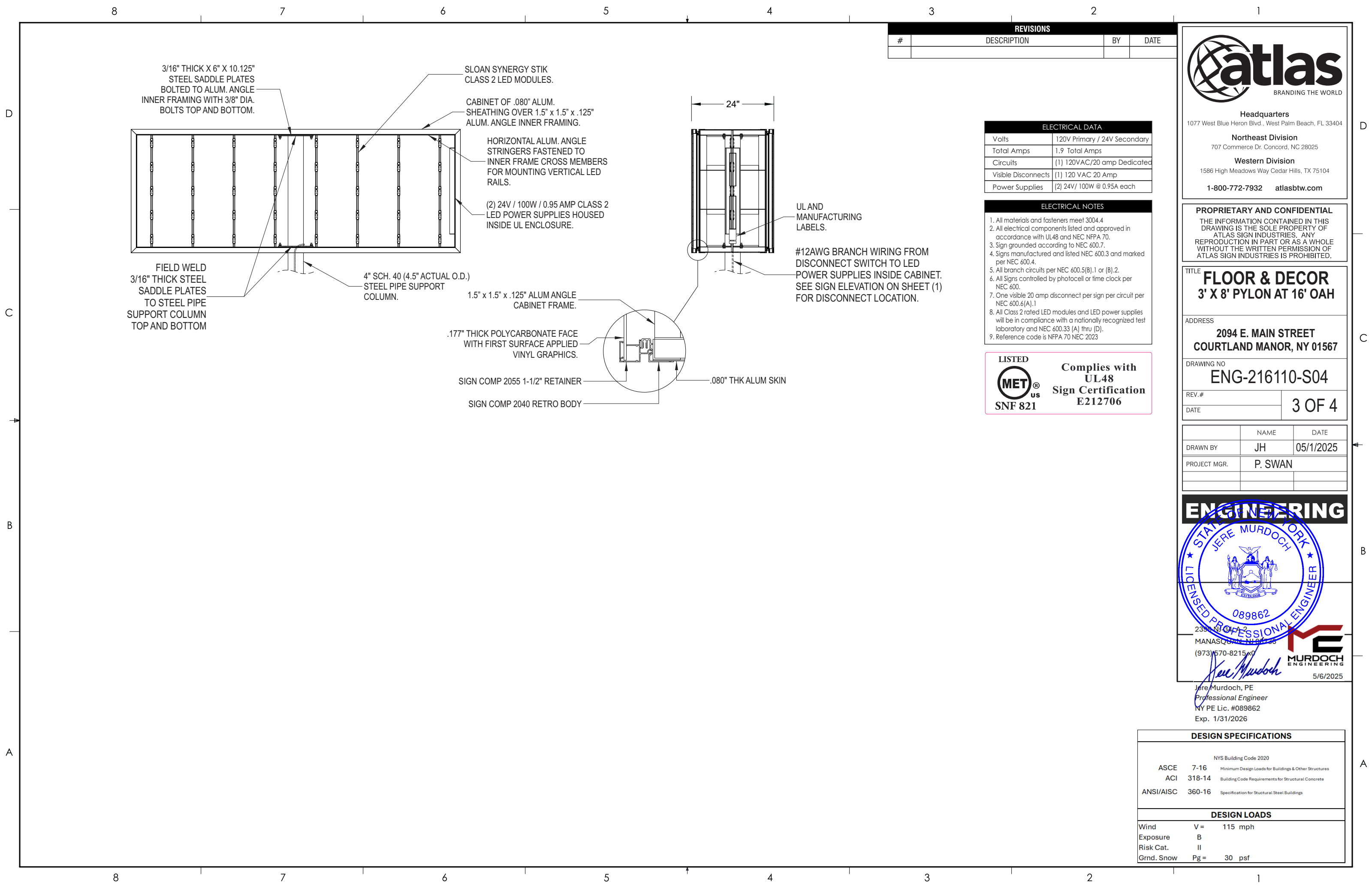
Jere Murdoch, PE
Professional Engineer
NY PE Lic. #089862
Exp. 1/31/2026

DESIGN SPECIFICATIONS

NYS Building Code 2020			
ASCE	7-16	Minimum Design Loads for Buildings & Other Structures	
ACI	318-14	Building Code Requirements for Structural Concrete	
ANSI/AISC	360-16	Specification for Structural Steel Buildings	

DESIGN LOADS

Wind	V =	115 mph
Exposure	B	
Risk Cat.	II	
Grnd. Snow	Pg =	30 psf



REVISIONS			
#	DESCRIPTION	BY	DATE

ELECTRICAL DATA	
Volts	120V Primary / 24V Secondary
Total Amps	1.9 Total Amps
Circuits	(1) 120VAC/20 amp Dedicated
Visible Disconnects	(1) 120 VAC 20 Amp
Power Supplies	(2) 24V/ 100W @ 0.95A each

- ELECTRICAL NOTES**
1. All materials and fasteners meet 3004.4
 2. All electrical components listed and approved in accordance with UL48 and NEC NFPA 70.
 3. Sign grounded according to NEC 600.7.
 4. Signs manufactured and listed NEC 600.3 and marked per NEC 600.4.
 5. All branch circuits per NEC 600.5(B).1 or (B).2.
 6. All Signs controlled by photocell or time clock per NEC 600.
 7. One visible 20 amp disconnect per sign per circuit per NEC 600.6(A).1
 8. All Class 2 rated LED modules and LED power supplies will be in compliance with a nationally recognized test laboratory and NEC 600.33 (A) thru (D).
 9. Reference code is NFPA 70 NEC 2023

LISTED



SNF 821

Complies with
UL48
Sign Certification
E212706



Headquarters
1077 West Blue Heron Blvd., West Palm Beach, FL 33404

Northeast Division
707 Commerce Dr. Concord, NC 28025

Western Division
1586 High Meadows Way Cedar Hills, TX 75104

1-800-772-7932 atlasbtw.com

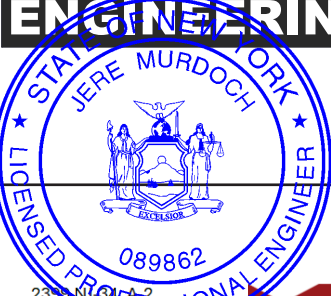
PROPRIETARY AND CONFIDENTIAL

THE INFORMATION CONTAINED IN THIS DRAWING IS THE SOLE PROPERTY OF ATLAS SIGN INDUSTRIES. ANY REPRODUCTION IN PART OR AS A WHOLE WITHOUT THE WRITTEN PERMISSION OF ATLAS SIGN INDUSTRIES IS PROHIBITED.


TITLE	
FLOOR & DECOR	
3' X 8' PYLON AT 16' OAH	
ADDRESS	
2094 E. MAIN STREET	
COURTLAND MANOR, NY 01567	
DRAWING NO	
ENG-216110-S04	
REV.#	3 OF 4
DATE	

	NAME	DATE
DRAWN BY	JH	05/1/2025
PROJECT MGR.	P. SWAN	

ENGINEERING



2350 N. GUYANA AVE
MANASSAS, VA 20108
(973) 570-8215 x0



MURDOCH
ENGINEERING

5/6/2025

Jere Murdoch, PE
Professional Engineer
NY PE Lic. #089862
Exp. 1/31/2026

DESIGN SPECIFICATIONS			
NYS Building Code 2020			
ASCE	7-16	Minimum Design Loads for Buildings & Other Structures	
ACI	318-14	Building Code Requirements for Structural Concrete	
ANSI/AISC	360-16	Specification for Structural Steel Buildings	
DESIGN LOADS			
Wind	V =	115 mph	
Exposure	B		
Risk Cat.	II		
Grnd. Snow	Pg =	30 psf	

GENERAL:

- ALL MATERIALS AND WORK SHALL CONFORM TO THE REQUIREMENTS OF THE APPLICABLE INTERNATIONAL BUILDING CODE (IBC).
- CONSTRUCTION METHODS AND PROJECT SAFETY: DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE AND DO NOT INDICATE METHODS, PROCEDURES, OR SEQUENCE OF CONSTRUCTION. TAKE NECESSARY PRECAUTIONS TO MAINTAIN AND ENSURE THE INTEGRITY OF THE STRUCTURE DURING CONSTRUCTION. THE EOR WILL NOT ENFORCE SAFETY MEASURES OR REGULATIONS. THE CONTRACTOR SHALL DESIGN, CONSTRUCT, AND MAINTAIN ALL SAFETY DEVICES AND SHALL BE SOLELY RESPONSIBLE FOR CONFORMING TO ALL LOCAL, STATE, AND FEDERAL SAFETY AND HEALTH STANDARDS, LAWS, AND REGULATIONS.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS AND SITE CONDITIONS PRIOR TO THE START OF CONSTRUCTION AND NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES OR INCONSISTENCIES THAT ARE FOUND. NOTED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. DO NOT SCALE DRAWINGS.
- ALL OMISSIONS AND/OR CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF THE WORKING DRAWINGS AND SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER AND FIELD INSPECTOR. THE ENGINEER SHALL PROVIDE A SOLUTION PRIOR TO PROCEEDING WITH ANY WORK AFFECTED BY THE CONFLICT OR OMISSION.
- WHERE NO CONSTRUCTION DETAILS ARE SHOWN OR NOTED FOR ANY PART OF THE WORK, CONSTRUCT IN ACCORDANCE WITH THE STEEL CONSTRUCTION MANUAL, 14TH EDITION OR 2010 ALUMINUM DESIGN MANUAL .
- WHEN A DETAIL IS IDENTIFIED AS TYPICAL, THE CONTRACTOR IS TO APPLY THIS DETAIL IN ESTIMATING AND CONSTRUCTION TO EVERY LIKE CONDITION WHETHER OR NOT THE REFERENCE IS REPEATED IN EVERY INSTANCE.
- ANY CHANGE TO THE DESIGN AS SHOWN ON THE DRAWINGS REQUIRES PRIOR WRITTEN APPROVAL FROM DESIGN ENGINEER OF RECORD BEFORE CONSTRUCTION.
- WORK PERFORMED IN CONFLICT WITH THE STRUCTURAL DRAWINGS OR APPLICABLE BUILDING CODE REQUIREMENTS SHALL BE CORRECTED AT THE EXPENSE OF THE CONTRACTOR.
- VERIFICATION: VERIFY ALL DIMENSIONS, ELEVATIONS, AND SITE CONDITIONS BEFORE STARTING WORK. NOTIFY THE EOR IMMEDIATELY OF ANY DISCREPANCIES.

EXISTING CONDITIONS:

- IF EXISTING CONDITIONS ARE NOT AS DETAILED IN THIS DESIGN, THE INSTALLER SHALL CEASE WORK AND NOTIFY MURDOCH ENGINEERING IMMEDIATELY.
- MURDOCH ENGINEERING WILL NOT BE PERFORMING ON-SITE INSPECTIONS OR VERIFICATIONS. IT IS THE RESPONSIBILITY OF THE INSTALLER, STRUCTURE OWNER, AND PROPERTY OWNER TO IDENTIFY EXISTING CONDITIONS AND CONTACT MURDOCH ENGINEERING WITH ANY DISCREPANCIES OR CONCERNS.
- INSTALLER SHALL CONFIRM THE DIAMETER AND THICKNESS OF EXISTING MEMBERS AND NOTIFY MURDOCH ENGINEERING OF ANY DISCREPANCIES.
- INSTALLER SHALL INSPECT AND CONFIRM THE QUALITY OF EXISTING STRUCTURE AS "IN GOOD REPAIR". IF THERE ARE ANY INDICATIONS THAT THIS IS NOT THE CASE, INSTALLER SHALL CEASE WORK IMMEDIATELY AND NOTIFY MURDOCH ENGINEERING.
- ANY EXISTING INFORMATION SHOWN HAS BEEN FURNISHED BY THE PERSON(S) OR COMPANY THIS DOCUMENT WAS PREPARED FOR (SEE TITLE BLOCK). MURDOCH ENGINEERING IN NO WAY CERTIFIES THIS INFORMATION AS "AS-BUILT". IF THERE IS ANY REASON TO BELIEVE THE EXISTING CONDITIONS DETAILED HEREIN ARE NOT ACCURATE, MURDOCH ENGINEERING SHALL BE NOTIFIED IMMEDIATELY.

STEEL

- STEEL SHAPES SHALL CONFORM TO THE FOLLOWING:

ROUND HSS	ASTM A500, GR B	Fy=42 KSI MIN.
SQUARE/RECT HSS	ASTM A500, GR B	Fy=46 KSI MIN.
THREADED ROD	ASTM A36	Fy=46 KSI MIN.
STEEL PLATE	ASTM A36 ASTM	Fy=36 KSI MIN.
STD. PIPE	A53, GR B	Fy=35 KSI MIN.
- BOLTS SHALL CONFORM TO ASTM A307 UNO..
- BOLTS AND THREADED ROD SHALL BE HOT-DIP GALVANIZED PER ASTM F2329 UNO.
- ANCHOR BOLTS SHALL CONFORM TO ASTM F1554 UNO.
- NUTS SHALL CONFORM TO ASTM A563.
- WASHERS SHALL CONFORM TO ASTM F844.
- STEEL HARDWARE SHALL BE HOT-DIP GALVANIZED PER ASTM A153 UNO
- WELDING:
 - WELD STRUCTURAL STEEL IN COMPLIANCE WITH ANSI/AWS D1.1 AND AISC SPECIFICATION, CHAPTER J. WELDERS SHALL BE CERTIFIED AS REQUIRED BY GOVERNING CODE AUTHORITY. WELDING SHALL BE DONE BY ELECTRIC ARC PROCESS USING LOW-HYDROGEN ELECTRODES WITH SPECIFIED TENSILE STRENGTH NOT LESS THAN 70 KSI UNLESS NOTED OTHERWISE.
 - ALL SHOP AND FIELD WELDS SHALL BE PERFORMED BY AN AWS OR ICC CERTIFIED WELDER WITH ACTIVE STATUS AT TIME OF WELDING
 - UNLESS A LARGER WELD SIZE IS INDICATED, PROVIDE MINIMUM SIZE WELDS PER AISC SPECIFICATION, SECTION J2, TABLE J2.4
 - BASE PLATES SHALL BE WELDED ON TOP AND BOTTOM WITH CONTINUOUS WELDS OF AT LEAST 1/4" (IF PLATE IS CUT TO FIT TUBE INTO PLATE)

ALUMINUM:

- FABRICATE AND ERECT ALUMINUM IN COMPLIANCE WITH THE ALUMINUM ASSOCIATION (AA) 2020 ALUMINUM DESIGN MANUAL (ADM) 1, THE SPECIFICATIONS FOR ALUMINUM SHEET METAL WORK (ASM35), AND IBC CHAPTER 20.
- PIPE AND TUBE SHALL BE 6061-T6 PER ASTM B241 OR B429 WITH Ftu=38 KSI MIN, Fty=35 KSI MIN, Ftuw=24 KSI MIN, Ftyw=15 KSI MIN.
- STD STRUCTURAL PROFILES SHALL BE 6061-T6 PER B308 WITH Ftu=38 KSI MIN, Fty=35 KSI MIN, Ftuw=24 KSI MIN, Ftyw=15 KSI MIN.
- SHEET AND PLATE SHALL BE 6061-T6 PER ASTM B209 WITH Ftu=42 KSI MIN, Fty=35 KSI MIN, Ftuw=24 KSI MIN, Ftyw=15 KSI MIN.
- EXTRUSIONS SHALL BE 6061-T6 PER ASTM B241 OR B429 WITH Ftu=38 KSI MIN, Fty=35 KSI MIN, Ftuw=24 KSI MIN, Ftyw=15 KSI MIN.
- ALL SHOP AND FIELD WELDS SHALL BE PERFORMED BY AN AWS OR ICC CERTIFIED WELDER WITH CURRENT STATUS AT TIME OF WELDING
- UNLESS A LARGER WELD SIZE IS INDICATED, PROVIDE MINIMUM SIZE WELD PER ADM. ALL ALUMINUM WELDED JOINTS SHALL HAVE WELD SIZES OF AT LEAST 1/4 INCH
- FILLET WELDS SHALL NOT EXCEED THINNEST MEMBER WALL THICKNESS JOINED.
- ALUMINUM WELD FILLER SHALL BE 5356 ALLOY
- WELDING PROCESS GMAW OR GTAW SHALL BE IN ACCORDANCE WITH AWS D1.2 --
- ALUMINUM CHANNEL LETTERS SHALL BE CONSTRUCTED OF 0.090" RETURNS AND 0.125" BACKS MINIMUM, UNLESS A LARGER SIZE IS INDICATED ON DRAWINGS. THIS NOTE SHALL SUPERCEDE DRAWING DETAILS.
- PROVIDE NEOPRENE GASKET BETWEEN DISSIMILAR METALS TO PREVENT GALVANIC CORROSION
- ALUMINUM DIRECTLY EMBEDDED INTO CONCRETE SHALL BE CAPPED AT BOTTOM AND COATED WITH BITUMINOUS COATING OR POLYURETHANE WHERE IN CONTACT WITH CONCRETE.
- FASTENERS BETWEEN DISSIMILAR METALS SHALL BE STAINLESS STEEL 316.

CONCRETE & REINFORCEMENT

- MINIMUM 28-DAY COMPRESSIVE STRENGTH (fc') SHALL BE 3,000 PSI. THE MAXIMUM WATER TO CEMENT RATIO SHALL BE 0.45 BY WEIGHT. A MINIMUM OF 5-3/4 BAGS OF CEMENT SHALL BE USED PER CUBIC YARD WITH A SLUMP OF 4" +/- 1.
- REINFORCEMENT TO BE ASTM A615 GR 60, Fy=60 KSI UNO
- CALCIUM CHLORIDE OR ADDED CHLORIDE IS NOT PERMITTED
- VIBRATION: ALL REINFORCED CONCRETE SHALL BE CONSOLIDATED WITH MECHANICAL VIBRATORS
- CONCRETE CONSTRUCTION SHALL BE IN ACCORDANCE WITH ACI 318-11
- PROVIDE A MINIMUM OF 2-1/2" COVER OF ALL EMBEDDED STEEL REBAR AND A MINIMUM OF 6 INCHES OF COVER FOR DIRECT BURIED PIPE OR TUBE MEMBERS.

FOUNDATIONS

- CONCRETE POURED INTO CONSTRAINED EARTH EXCAVATIONS MUST CURE UNDER PROPER CONDITIONS FOR A MINIMUM OF 7 DAYS PRIOR TO SIGN BOX INSTALLATION. (EXCEPTION: IF THE OVERALL HEIGHT OF THE SIGN IS LESS THAN 20 FEET AND THE SIGN IS ADEQUATELY BRACED AGAINST WIND LOADS FOR A MINIMUM OF 4 DAYS, THE BOX MAY BE INSTALLED THE SAME DAY AS THE FOOTING IS POURED)
- FOOTINGS MUST BE POURED AGAINST UNDISTURBED EARTH. SOIL BACKFILL IS UNACCEPTABLE. WHEN A SONOTUBE IS USED AS THE FORM, CONCRETE SHALL BE USED TO BACKFILL THE SPACE BETWEEN THE SONOTUBE AND UNDISTURBED EARTH.
- COLD WEATHER PLACEMENT: PROTECT CONCRETE WORK FROM PHYSICAL DAMAGE OR REDUCED STRENGTH THAT COULD BE CAUSED BY FROST, FREEZING ACTIONS OR LOW TEMPERATURES. DO NOT POUR CONCRETE DURING OR WHEN FREEZING TEMPERATURES ARE ANTICIPATED WITHIN 3 DAYS OF POUR. BOTTOM OF FOOTING TO BE INSTALLED AT OR BELOW FROST LINE.
- REINFORCEMENT IS NOT REQUIRED FOR DIRECT BURIAL TYPE SIGN FOOTINGS FOR SIGNS OF 25 FEET OVERALL HEIGHT OR LESS, DIRECT BURIED STEEL SHALL EXTEND TO 6 INCHES FROM BOTTOM OF FOOTING.
- FOR ANCHOR BOLT/ BASE PLATE - SQUARE FOOTINGS, PROVIDE A MINIMUM OF #5 VERTICAL REBAR @ 12" O.C., 4" OFFSET FROM PERIMETER, TOP AND BOTTOM OF FOOTING. PROVIDE #3 HORIZONTAL TIES @ 12" O.C. Unless otherwise noted.
- FOR ANCHOR BOLT/ BASE PLATE - ROUND FOOTINGS, PROVIDE A MINIMUM OF SIX (6) VERTICAL #5 REBARS, EVENLY SPACED, 4" OFFSET FROM FOOTING PERIMETER & #3 HORIZONTAL TIES, 12" O.C. Unless otherwise noted.
- ANCHOR BOLTS SHALL BE TIED TO REBAR CAGE AT A MINIMUM OF TWO LOCATIONS PER ANCHOR BOLT
- FOOTING DESIGN ASSUMES FOOTING SHALL BE EXCAVATED AND POURED IN UNDISTURBED NATURAL EARTH, CAPABLE OF WITHSTANDING A MINIMUM 1,500 PSF VERTICAL DESIGN BEARING PRESSURE AND 200 PSF/FT OF DEPTH OF LATERAL BEARING PRESSURE.
- IF CLAY, SILTY - CLAY, ORGANIC OR FILL SOIL IS ENCOUNTERED UPON EXCAVATION, CONTACT MURDOCH ENGINEERING FOR FOOTING DESIGN MODIFICATION PRIOR TO CONSTRUCTION.
- PORTION OF STEEL SUPPORT EMBEDDED INTO CONCRETE SHALL NOT BE PAINTED. IT SHALL BE CLEAN BARE METAL FOR PROPER ADHESION TO CONCRETE

SCOPE OF WORK:

- LIMITS OF LIABILITY TO EXTEND ONLY TO THE QUANTITY INDICATED. ATTEMPTS IN PART OR IN WHOLE TO INSTALL GREATER QUANTITIES THAN THOSE SPECIFIED WITHOUT CONSULTING MURDOCH ENGINEERING SHALL VOID ALL PROFESSIONAL LIABILITY AND COVERAGE.

2399 NJ-34 A-2
Manasquan, NJ 08736
(973) 570


MURDOCH
ENGINEERING

murdochengineering.com
projects@murdochengineering.com

PREPARED FOR:


BRANDING THE WORLD

PROJECT TITLE:

FLOOR & DECOR

PROJECT ADDRESS:


**2094 E. MAIN STREET
COURTLAND MANOR, NY 01567**

5 OF 5

DESIGN SPECIFICATIONS			
NYS Building Code 2020			
ASCE	7-16	Minimum Design Loads for Buildings & Other Structures	
ACI	318-14	Building Code Requirements for Structural Concrete	
ANSI/AISC	360-16	Specification for Structural Steel Buildings	
DESIGN LOADS			
Wind	V =	115	mph
Exposure	B		
Risk Cat.	II		
Grnd. Snow	Pg =	30	psf



2399 NJ-34, A-2
MANASQUAN, NJ 08736
(973) 570-8215 x0


MURDOCH
ENGINEERING

Jere Murdoch 5/6/2025
Jere Murdoch, PE
Professional Engineer
NY PE Lic. #089862
Exp. 1/31/2026

DWG TITLE:

GENERAL NOTES

SHEET: **S.1** SIZE: **B**

The designs, details and specifications contained in this drawing are confidential. The recipients of this drawing hereby acknowledge and agree that it is the sole property of Murdoch Engineering and that they shall neither use nor reveal any of the designs, details and specifications contained in this drawing, outside of the contractual agreement expressed written permission from Murdoch Engineering.

Deviations from this drawing shall not be made without consulting Murdoch Engineering. In case of incongruities between drawings, specifications, and details included in contract documents, Murdoch Engineering shall decide which indication must be followed and their decision shall be final.

Copyright Murdoch Engineering.
All rights reserved.